



Village of Addison

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING • CODE ENFORCEMENT • ENGINEERING • ZONING

AGENDA

PLANNING AND ZONING COMMISSION

PUBLIC HEARING/BUSINESS MEETING

WEDNESDAY, OCTOBER 9, 2024

DATE:	Wednesday, October 9, 2024	Chair – Marianne Fotopoulos
TIME:	5:30 P.M. – NOTE TIME CHANGE	Member – Joseph Ariano
PLACE:	Addison Village Hall	Member – Edward Cargill
	1 Friendship Plaza	Member – Donald McComb
	Addison, IL 60101	Member – Timothy Schmitt
		Member – Mark Turk
		Member –

I. CALL TO ORDER – ROLL CALL

II. CONSIDERATION TO APPROVE THE MINUTES OF THE SEPTEMBER 18, 2024 PLANNING AND COMMISSION MEETING

III. PUBLIC HEARINGS AND RECOMMENDATIONS

1. **File #PZ-24-16**, consideration of a Plat of Resubdivision and variations from the Zoning Ordinance to allow for the reconstruction of existing parking lot with concrete pavement, expansion of parking lot areas with concrete pavement and construction of subsurface stormwater detention features. The property is located at 330 South Fairbank Street, Addison, IL 60101.

P.I.N.: 03-30-402-010, 03-30-402-026

Petitioner: Alan Shapiro

This file was advertised in the September 24, 2024 issue of the Daily Herald Newspaper.

Consideration of File #PZ-24-16 as described above.

2. **File #PZ-24-11**, consideration regarding variations to the Zoning Ordinance, Subdivision Control Ordinance and Standard Specifications for Design and

**MINUTES OF THE PLANNING & ZONING COMMISSION
VILLAGE OF ADDISON
WEDNESDAY, SEPTEMBER 18, 2024**

The Planning & Zoning Commission meeting of the September 18, 2024 meeting was called to order at 5:30 p.m. by Chair Fotopoulos.

Present: Ariano, Cargill, Fotopoulos, McComb, Schmitt, Turk
Absent: None
Also Present: Mike Crandall and Consuelo Arguilles, Village of Addison, Village Attorney Freeman and Dan Medina, Addison Fire Protection District

PUBLIC HEARING

I. CALL TO ORDER – ROLL CALL

II. CONSIDERATION TO APPROVE THE MINUTES OF THE AUGUST 14, 2024 PLANNING & ZONING COMMISSION MEETING

Mr. Cargill made a motion to approve the minutes from the August 14, 2024 meeting, seconded by Mr. Ariano. Chair Fotopoulos asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

III. PUBLIC HEARINGS AND RECOMMENDATIONS

1. **File #PZ-24-15**, consideration of a Plat of Re-subdivision and variations from the Zoning Ordinance to allow for the construction of a building addition and site re-design. The property is located at 1501 W. Lake Street, Addison, IL 60101.

P.I.N.: 03-19-201-026 and 03-19-201-028

Petitioner: Stan Razny (Razny Jewelers)

This file was advertised in the September 3, 2024 issue of the Daily Herald Newspaper.

Mr. Schmitt made a motion to open File #PZ-24-15, seconded by Mr. Turk. Roll call was taken.

Motion passed unanimously.

Mike Crandall, Village of Addison stated last year Razny's made a request as they were going to be remodeling the inside of their building and placing an addition on it. The request last year was that they were going to provide there parking through a lease agreement; also provide a trash enclosure. Since then things have changed, Razny's has been in talks with Marcus Theater to acquire approximately one ace to the south of this property, which now is currently

under contract. In addition to that, with this acquisition of the property they would be converting that one acre of property to a very nice landscape parking area. They no longer need to worry about an off-site trash enclosure or leasing property from Marcus, they would have it on their own. As a result of doing this, they would have two lots, one is the current lot that they have now and the second lot would be the one that they would be acquiring, that would require a Plat of Resubdivision or consolidation of the two lots into one which is one of the reasons why they are here for that. The second thing is requesting a parking variation based on the expansion to the building, it is approximately just over 9500 square feet of building addition. It is all on one story. They would be expanding the building to the north, part of the building to the west and a little bit to the south of the property. This is a property that is developed with single story retail buildings, it was constructed in 1997. The Comprehensive Plan recommends that the subject property be developed with mixed-use/multi-use land uses (primarily a mix of residential, retail, office, and institutional uses arranged in a compact and pedestrian-friendly development pattern). The adjacent properties are zoned B3 Service Business District and the properties across the street are zoned B2 Community Business District, all of which are developed as various commercial uses. The request was sent to Community Development, the plans were routed to various members of our department as well as the Fire District. After review there really weren't any significant comments that were concerning and one of the things if approved tonight would have to go to the Village Board for approval and with that we would tie into an Appearance Review process and any sign variations that may be requested as part of that approval. Our Engineering Department had no issues, the existing area is all parking lot right now impervious so there is no drainage issues at this time. Fire District has reviewed this as well and are happy with the site plan. The current building already has a fire sprinkler system and with the addition that would also be retrofitted to also have a fire sprinkler system. Staff finds that the proposed variations comply with the standards set forth in the Zoning Ordinance and therefore we do recommend approval of the requested actions.

Mr. Steve Kudwa, architect was present and sworn in. Mr. Kudwa showed the plans on the overhead. Mr. Kudwa stated the original request was heard by the Commission on September 13, 2023 and at that point Mr. Razny was looking to expand the building and there was a need for an additional parking. There were originally four variance requests but we are down to two, and one of those requests was not noted. The new lot line that they are showing is on the curb line for the Marcus Theater parking. It is either a 5 or 10 foot landscape setback that is required there. The rationale for putting on the Marcus curb line is that Mr. Razny is going to put a lot of expense, he will be putting more landscaping that is required in order to create this campus that he is looking for and really wants to have 100% control maintenance of all of the landscaping that is in that area. From a property line perspective we could move it off that curb line and certainly adhere to the setback. There is about 25 feet but there is a significant area, enough to have a setback for the zoning requirements. He wants to maintain the area. Mr. Razny will purchase 1.05 acres from Marcus, there is an agreement in place. Mr. Kudwa said what is changed on the building, is we no longer have the two-story that created a number of issues but when you create two stories, the stairways and elevators just takes away a lot of space on the interior and its expensive. The front elevation hasn't changed a whole lot but putting a lot of effort into the aesthetics. The design and materials has not changed.

Chair Fotopoulos asked if the Plan Commission had any questions. Mr. Schmitt said when this previously came through, there was variations that were a part of it that time when it got approved. Mr. Crandall said yes. Mr. Schmitt asked if some of those variations were for front yard setbacks. Mr. Crandall said there were some setback variations, parking variation and the trash enclosure was off-site. Mr. Schmitt said the parking configuration is a little bit odd in terms of the way the driveways are configured. Is there a reason or logic to kind of why you did what you did? The circle in front of the building seems really tight, not sure if that was the way the site plan was before. Along the south side of it, there is a single access drive versus doing a double loaded one and then you created a secondary small with an ADA space in the back. I am just curious why it is all that way. Mr. Kudwa said there is a rhyme and reason for it. Mr. Razny wanted to have the area up front for the customers essentially. The parking in the other area is for parking. It is essentially creating a disconnect from the employees and the customers. Mr. Kudwa showed it on the plans. It seems some of the turning radiuses seem tight. Mr. Kudwa said they did run turning radiuses for the benefit of the Fire Department and it does meet those requirements.

Chair Fotopoulos asked if the audience had any questions. There was none.

Chair Fotopoulos asked for positive and negative testimony. There was none.

Mr. Turk made a motion to close File #PZ-24-15, seconded by Mr. Cargill. Roll call was taken.

Motion passed unanimously.

Consideration of File #PZ-24-15 as described above.

Mr. Schmitt made a motion for a positive recommendation to approve the reduction of parking spots from 82 to 50 and approval of the Plat of Resubdivision to allow the construction of the building addition and site redesign and to also add 10 feet of landscape on the south property line and contingent to the purchase of property, seconded by Mr. McComb. Chair Fotopoulos asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

2. **File #PZ-24-10**, consideration of approval of an annexation agreement, rezoning to the R3C Multiple Family Residence District (Medium Density), a re-subdivision and a special use for a planned development with variations and exceptions to allow for the construction of a 61-unit townhome development. The property is located at 330-496 E. Fullerton Avenue, Addison, IL 60101.

P.I.N.: 03-27-322-018, 03-27-322-019, 03-28-427-018

Petitioner: Yellowstone Construction, LLC

This file was advertised in the September 3, 2024 issue of the Daily Herald Newspaper.

Mr. Cargill made a motion to open File #PZ-24-10, seconded by Mr. McComb. Roll call was taken.

Motion passed unanimously.

Mike Crandall, Village of Addison stated the petitioner is requesting to annex, re-subdivide and rezone the subject property from the R1 and R2 Single-Family Districts to the R3C Multiple Family Residence District (Medium Density) with a Special Use for a Planned Unit Development (PUD) for the approval of a 61-unit subdivision. As part of the development agreement, the petitioner is asking for the following exceptions to the Addison Zoning Ordinance and the Village of Addison Standard Specifications for the Design and Construction:

- Exceptions to allow balconies/patios as permitted encroachments within a front yard;
- Exceptions to allow parking within the front yard and interior side yards;
- Exceptions to allow driveways to exceed 20 feet in width;
- Exceptions to allow front, side, and rear yard building setback variations.
- Exception to allow a Zero R.O.W, instead of the required 66' ROW, as per Section 803 of the Village of Addison Standard Specifications for Design and Construction.
- Exception to allow a 24-foot wide pavement width for the proposed private streets, instead of the required 30-wide pavement width, as per Section 801.2 of the Village of Addison Standard Specifications for Design and Construction.
- Exceptions to allow private watermain, sanitary main and storm sewer systems.

The property at the northwest corner of Fullerton and Chatham is unincorporated, so it will need to be annexed.

The subject property consists of three undeveloped parcels: 330 E. Fullerton, which is zoned R1 Single-Family Residence District; 436 W. Fullerton, which is zoned R2 Single-Family Residence; and 496 E. Fullerton, which is unincorporated.

The Comprehensive Plan recommends that the subject property be developed with neighborhood residential land uses (primarily detached and attached single-family homes with limited opportunities for multi-family residential redevelopment). The surrounding properties to the west, north, and south are zoned R2 and are developed as single-family homes and St. Joseph Catholic Church. The properties to the east are unincorporated and are developed as single-family homes.

INTERDEPARTMENTAL REVIEW COMMENTS

Building

1. Staff is recommending the Village and the developer to enter into a "no rental agreement" as part of the approval of the development. All dwelling units should be owner occupied.
2. Staff is recommending the establishment of a dormant SSA for the future maintenance of, including but not limited to, the stormwater management facilities, the private streets, private street lights, private watermain and water services, private sanitary mains and sanitary services, private stormwater mains, stormwater services, easements and any common areas.

Engineering

1. Has a snow removal plan been developed for this proposal?
2. There are trash/recycling enclosures shown. How is trash/recycling pickup and disposal proposed to be handled?
3. Chatham Ave is to be fully improved to a 30-foot pavement width with curb and gutter and sidewalk.
4. Watermain on Chatham Ave is to be extended to the north property line and capped.
5. The sanitary main in the driveway is to be extended into the east side of the Chatham Ave ROW and then connect to Fullerton Ave. The main should also be extended to the north property line and capped.
6. B-Boxes are to not be in paved areas.
7. Street trees are shown on private property. There should be parkway trees spaced 40 feet more or less apart.
8. The offset in the driveway coming off of Fullerton Ave and going north will be confusing to drivers and should be properly aligned with one another.

Fire

1. All dead ends near bldgs. #1, #12, & #14 are concerns and need to be "cul-de-sac" or capable of turning a fire truck.
2. Hydrant placement within the complex will need to be evaluated. The proposal does not show proposed hydrants and their location.
3. Fire sprinklers are required in each building. Any building with more than 6 units will require a Fire alarm system.
4. Confirm that each corner Radii can accommodate fire department vehicle(s) in accordance with codes as they pertain to fire department access.

5. The clubhouse will require a FD key box for this building.
6. Balconies may require specific suppression design based on construction type.

Police

No comments.

Public Works

1. Where will the outfall pipe for the detention basin drain? Will it tie into an existing pipe? Will there be a restrictor?
2. Please confirm that the HOA will be solely responsible for installing and maintaining the water main/services, detention basin, storm sewer, sanitary sewer, roads, street lighting system, etc.
3. The street light conduit and cables will have to be reworked across the new apron on Fullerton to meet section 600 Standard specifications for street lighting.
4. Any relocation of existing street light poles affected by the placement of this apron will be the full responsibility of the developer to VOA specs.
5. Tree protection will need to be provided around existing parkway trees and placement of new private trees will be subject to section 900 VOA specs.
6. The private trees shown on the plans along the south side of the development's border along Fullerton Ave must not be planted within 40' of the existing Village's parkway trees.

Planning

The Comprehensive Plan includes a goal to work with property owners to pursue annexation of properties adjacent to municipal boundaries. The proposed density of 61 units meets the minimum lot area for the R3C District and is also compatible with the Comprehensive Plan recommendations for attached single-family homes at this location.

Within the R3C District, developments are required to provide a minimum 30 foot front yard, combined side yards of not less than 30 feet with no side yard less than 12 feet, and rear yards of 40 feet. Looking at the development as a whole, the proposed site plan shows balconies/patios encroaching into the front yard along Fullerton and parking encroachments into the western side yard (abutting St. Joseph) and the Chatham Avenue side yard. Looking at the buildings individually, the required side yard setbacks are not met for Buildings 12 and 13. Buildings 1-11 do not meet the required rear setbacks due to the alley-style garage placement. The clubhouse does not meet the required front yard setback. Throughout the development, the driveways exceed the maximum allowable 20-foot width that is permitted for 16-foot wide garage doors.

Mr. Schmitt asked about the visitor parking because other places have a couple of parking spaces behind the garage. In this case there is no additional parking. Mike Crandall said there is visitor parking throughout the development, each dwelling unit will have a two-car garage which will take care of the actual occupants of the building and then the developer has provided additional parking spaces throughout for visitors at various locations. Mr. Cargill asked how the density compares to other townhomes. Mike Crandall said it is fairly compatible with some of other developments. We did have project proposed on the west end of town that was denied by the P & Z Commission, ultimately the Village Board based on its density was denser than what is being provided here. Mr. Cargill asked what Public Works thinks of the private streets, waterman's, sewers and maintenance of them. Mike Crandall said they are ok with it because they don't have to maintain it. The problem is if there are problems with the HOA they are going to get the phone calls.

Mr. Maurizio Gagliano, petitioner was present and sworn in. Mr. Gagliano stated he is looking to build 61 unit townhomes. Mr. Gagliano said he was told that there is not enough of ranch townhomes so they re-did their plan. We intend to build one level ranch townhomes and 2-story ranch townhomes. The ranch townhomes will range between 1700 – 2400 square feet with basements, 2 car garages, brick exteriors, etc. The will be starting at \$450,000. The two-story townhomes is designed for single moms and for people who want to downsize.

They are about 1300 – 1400 square feet with a two car garage. Between the ranch townhomes and two-story townhomes they all have three bedrooms and two car garages. The townhomes, the first floor is all brick. The second floor is all hardi-board. We really want it to stand out, especially along Fullerton Avenue. His subdivision is for everyone, all types of people. A single mom or a person that wants to retire. It will be its own community, especially in this area that no one has ever touched it; not only are you bringing a subdivision but a clubhouse in its own community. Mr. Gagliano feels the residents will benefit from this. We picked this parcel because everyone builds on the west side of Addison and this development is on the east side of Addison. This subdivision has a lot of character. I hope the Village of Addison and residents will embrace this subdivision the way I do.

Mr. Mark Richards, Civil Engineer for the project was present and sworn in. Mr. Richards showed the plans on the overhead. Mr. Richards stated the property is on the north side of Fullerton just west of Villa Avenue, west of the property is St. Joseph Catholic Church, north is single family and to the east is unincorporated single family. Villa Avenue right-of-way is about 14 feet to the east and immediately east of Villa Avenue is the Cricket Creek Forest Preserve. There is also some R3D Multi-Family High Density zoning just to the southwest and west of their manufacturing districts. We do believe the site plan is in keeping with the surrounding area. The existing conditions shows the site includes 6.35 acres and generally slopes from west to east. East of site there is floodplain that extends from Salt Creek. There is a sizable shallow depressed storage area in the northeast quadrant of the property. The depressed storage area overflows to the east. The site plan there are 14 buildings with a total of 61 units. The site is accessed from Fullerton Avenue and Chatham. Eleven of the buildings are two-story townhome buildings and the three buildings along the north side of the property, those are the ranch townhomes. There is a large open area in the middle of the property; at the northeast corner of the property is a sizable detention basin. The preliminary grading plan follows the existing drainage patterns. All the run-off from the site will go into a large detention basin that is located at the northeast corner of the property. The detention basin will avoid the floodplain at the northeast corner of the property. The stormwater overview of the project meets the DuPage County and Village of Addison stormwater ordinance and requirements which are very stringent. The detention basin is sized to detain the 100 year storm, which is a storm that has a 1% chance of occurring in a given year. The proposed detention basin is sizable 3.57 acre feet of storage; significant amount of storage. By comparison, the existing depression storage area which exists on the site right now is fairly large but shallow. It holds only 0.25 acre feet; so the proposed basin will hold roughly 14 times as much storage as the existing depression storage area. This volume will limit the 100 year discharge from the site to 0.6 CFS in accordance with the County and Village requirements. This means in a 100 year storm, all the run-off falling on the site will be restricted to a 3 inch or less. A 100 year storm the run-off on the site is leaving a 3 inch opening. This development provides an opportunity to properly manage stormwater for the site and significantly reduce the peak discharge from the site. The preliminary utility plan the ground lines, show the storm sewers and how all the run-off from the site is going to convey all the run-off into the detention basin. It also shows looped watermain throughout the subdivision with fire hydrants throughout. It also shows a gravity sanitary sewer to Chatham and then tying into the Village sanitary sewer on Fullerton. The landscape plan and the goal of the design was to blend the townhome units with the adjacent residential neighborhood to the north, providing evergreen screening along the north property line, and to also provide extensive ornamental trees throughout the development. The plan also allows for plenty of area for snow storage in and around the detention basin. The Fire Plan shows the fire truck routing exhibit for the trucks that are used by the Village Fire Department. These trucks can safely maneuver through the site. Mr. Richards said they carefully designed the project and complied will all rules and regulations and have taken care of the concerns raised by staff.

Chair Fotopoulos asked the Fire Department if they had any concerns. Dan Medina stated they met with them prior to this to address some of their concerns. The biggest concern is the use of the vehicles within there is the turning radiuses. The initial plan that they had seen did not show or could not depict where the fire hydrants were. These plans shows nine fire hydrants on the site which are adequately placed based on our recommendations as well as utilizing not only our new ladder truck but also utilizing two of our neighboring ladder trucks. One of the issue initially was the entrance off of Fullerton was almost jagged and we did have them straighten that out for ease vehicle movement and they did adhere to that.

Chair Fotopoulos asked if the Plan Commission had any questions. Mr. McComb asked Mike Crandall about the SSA, if they HOA fails with maintaining the stormwater, will there be an assessment of taxes? Is that just for the residents of the subdivision or does it go for all of Addison? Mike Crandall said it's just for the residents of that subdivision only.

Attorney Freeman said it is a dormant SSA, which means it is there but it doesn't do anything until it is needed; should the HOA fail to make certain repairs then it would become an active SSA and the cost of those repairs would be assessed back to all of the homeowners who are part of the HOA for their proration share of whatever the cost of that repair might be. Mr. Schmitt said in terms of the infra-structure they would still be required to follow our codes in terms of the requirements for the underground plumbing, storm, sanitary and water. Mike Crandall said that is correct. Mr. Schmitt said basically all of their utility infra-structure still has to follow the codes as they were going to be dedicated streets; they are just not dedicating the streets. Mr. Cargill said he is against the streets, water and sewer, it is a bad idea. Mike Crandall said he is not aware of any Special Service Area in town that encompasses everything that was talked about. Chair Fotopoulos asked if a traffic study was ever done. The traffic representative said they performed a traffic evaluation for the development. The development will have 61-units and access will be provided at Fullerton Avenue and the secondary access will be at Chatham Avenue. Both of those drives will provide one inbound lane and one outbound lane. The outbound lanes will be stop sign control. Fullerton Avenue is a has a three lane cross section, so anyone making a left into Fullerton will be able to make that in the center median and will not be blocking any traffic. Fullerton Avenue has more than efficient capacity to accommodate the additional traffic generated by the townhomes. Chair Fotopoulos said we usually see a traffic study and usually has the hours, what are the hours? Attorney Freeman asked Mike Crandall if Staff received a study. Mike Crandall said he didn't recall getting a study. The traffic representative said during the peak hour in the morning from 7:00 - 9:00 a.m., 26 total trips with 19 out and 7 coming back in. In the afternoon when there is more traffic, 33 trips, 19 in and 14 out. Fullerton Avenue has about 9,000 vehicles on it today, it also has a three lane section to carry about 15,000 vehicles. Chair Fotopoulos asked why the pool is an option. Attorney Freeman asked if a copy of the traffic study could be provided to staff. Mr. Gagliano said the clubhouse will have recreational room, with a courtyard and exercise. The pool will be a really nice feature. Chair Fotopoulos asked if he has built these two-story townhomes anywhere else. Mr. Gagliano said yes he did, we currently have one in Hanover Park. Mr. Turk asked about the vacant land, was anything ever built there. Mr. Cargill said no, a part of it was owned by the Church. Mike Crandall said part of it was owned by the Church and the other part was vacant for a long period of time. There was wetlands and some floodplain on the site. As part of the development, the Engineer has looked into the wetland issue, stormwater issue and the idea of the development is to try and correct those problems. The plan would have to comply with the Du Page County Stormwater Ordinance, Village of Addison Stormwater Ordinance and any wetland issues, which I think they have done a stormwater report on this. They refer to the Village's stormwater consulting as well. There is a lot of money that is involved with this which is why it wasn't ever developed before. There is a lot of mitigation that has to been done. The petitioner is investing in the money to do that. Mr. Cargill said to his knowledge there was a national study done on floodplains back in the late 5-0's -60's, was this parcel excluded from that floodplain. Mike Crandall said the petitioner's engineer has done the research on it. Mr. Richards said over the years is that the 100 year storm has been redesigned several times. There is floodplain east of the property; there is a depression storage area in the northeast quadrant of the site. Mr. McComb said the first floor will be brick, will all 12 buildings have brick on the first floor? Mr. Gagliano said yes. Mr. McComb said is that all around or just the face of the building. Mr. Gagliano said all the way around.

Chair Fotopoulos asked if the audience had any questions. Chair Fotopoulos said that we are going to combine questions and positive and negative testimony.

Dominick Corona, 420 Ardmore, resident stated his concerns are the traffic especially around Fullerton School, how the site at Army Trail and Mill Road compares to new townhomes, entrance into the development, traffic coming out of St. Joseph Church, trash enclosures, garbage and fire trucks coming in and out of subdivision.

Negative Testimony: Against the project and 61 units are too much

Tom Bares, 426, E. Hilton, resident asked if a lift station was going to be built for that subdivision and no it is not. The street floods when it rains and where is all the water going to go. The engineer said there is a floodplain to the east and it is tied into Salt Creek.

Negative Testimony: Against the project

Julie Kappich, 480 E. Lorraine, resident stated that water is an issue, is the detention basin going to spread storage to the other single family homes and homeowners association fees.

Negative Testimony: Against the project

John Skibicki, 341 S. Yale, resident stated his concerns is the issue with the pricing of the units, how are the fire trucks going to enter and turn around and is the clubhouse for residents only.

Negative Testimony: Against the project, has a problem with the clubhouse and the in/out of the subdivision.

Nivaro Flores, 500 S. Yale, resident-asked if the clubhouse is for owners only and has a problem with the traffic.

Negative Testimony: Every year the street floods and is against the project

Jesus Gonzalez, 401 E. Fullerton, resident, has an issue with traffic, how long is the construction going to be, the petitioner said around 18 months and what about the wildlife?

Negative Testimony: Feels it is too crowded and it will affect the schools, wildlife, neighborhoods and create a lot more traffic.

Linda Kelly, 426 E. Hilton, resident asked if the detention pond is going to have any additional green space. The engineer said green space will be provided (the engineer showed it on the screen).

Negative Testimony: The resident has experienced many floods and feels the development is too big.

Henry Migas, 3N046 Chatham, resident stated he is going to be affect the most as his lives right where they want to put the development. The issue of traffic and detention.

Negative Testimony: Against the project

Bill Kotlow, 407 E. Palmer, resident stated his concerns is that he does not see an easement to the south property line, who is going to be responsible to maintain it? The engineer said there is a 10 foot easement there and maintaining would be off-site.

Negative Testimony: Too many buildings will create a lot of traffic and the church field gets soaked when a heavy rain occurs.

Laura Molina-Gomez, 212 S. Wisconsin, resident gave negative testimony.

Negative Testimony: Traffic is a bad and will be an issue, too many houses and safety.

Tatiana Sanchez, 17W727 Fullerton, resident gave negative testimony.

Negative Testimony: Too many homes will create more traffic.

Mary Butler, 344 E. Palmer, resident stated that there is already a problem with parking on Palmer Avenue.

Negative Testimony: Against project due to flooding, wildlife and traffic. Why can't the Village of Addison buy it from the developer and make it a natural green space.

Bob Bauers, 345 E. Drake Avenue, resident asked if a soil test was down on the townhomes. The engineer said yes there was.

Negative Testimony: Against the project

Pat Bauers, 345 E. Drake, resident concerned about overcrowding, noise and parking on the side streets.

Negative Testimony: Does not want to see the development go there; feels it can't absorb this and also the flooding.

Maria Campuzano, 421 Cherry Hill Drive, resident concerned about flooding and sewers backing up.

Negative Testimony: Traffic, wildlife and opposed to the development.

Javier Mascorro, 17W739 Fullerton, resident has concerns about safety and traffic.

Negative Testimony: Against the project.

POSITIVE TESTIMONY: None

Chair Fotopoulos asked if the Plan Commission had any questions. There were none.

Mike Crandall stated he received an email from Diane Janokos, 216 S. Iowa, resident is opposed to this development, has a lot of concerns with traffic and flooding issues.

Mr. McComb made a motion to close File #PZ-24-10, seconded by Mr. Schmitt. Roll call was taken.

Motion passed unanimously.

Consideration of File #PZ-24-10 as described above.

Mr. Schmitt stated that he is concerned about the density, does not like the variances for the street widths. It is too much. Some of the other townhome projects they have public improved streets which there is additional space. Mr. Cargill stated he objects to private utilities, the Village can only control and maintain what we own. He also said sub-standard streets are not what the Village wants in this town. I am not in favor of the project. Chair Fotopoulos stated the Comprehensive Plan was not for this; the density and streets call for an R1 and R2 for a total of 32 homes.

Mr. Cargill made a motion to deny the request in its entirety and also all the exceptions listed on the summary of request in the Staff Report, seconded by Mr. Schmitt. Chair Fotopoulos asked if there was any discussion. There was none. Roll call was taken.

Motion passed unanimously.

3. **File #PZ-24-11**, consideration regarding variations to the Zoning Ordinance, Subdivision Control Ordinance and Standard Specifications for Design and Construction to allow parking of vehicles on a plastic grid paving system. The property is located at 12 W. Factory Road, Addison IL 60101.

P.I.N.: 03-33-111-018

Petitioner: Peter Alvarez, Auto Gallery Chicago, LLC

This file was published in the July 30, 2024 issue of the Daily Herald Newspaper.

Mike Crandall, Village of Addison stated the Commission made a motion to table this item to the September 18th hearing so staff could further look into the petitioner's request. Staff is requesting additional time to further look into it and would like to table this item to the October 9th Planning and Zoning Commission meeting.

Consideration of File #PZ-24-11 as described above.

Mr. Turk made a motion to table this hearing to the October 9th meeting, seconded by Mr. Schmitt. Roll call was taken.

Motion passed unanimously.

IV. AUDIENCE PARTICIPATION – None

V. OTHER BUSINESS AT THE DISCRETION OF THE CHAIRMAN –

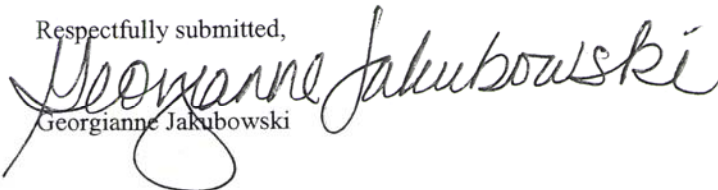
The October Planning and Zoning meeting of October 9, 2024 will take place at 5:30 p.m.

VI. ADJOURNMENT

Mr. Ariano made a motion to adjourn the meeting at 8:40 p.m., seconded by Mr. Turk.

Motion passed unanimously.

Respectfully submitted,


Georgianne Jakubowski

PLAN COMMISSION MEETING, SEPTEMBER 18, 2024

PLEASE SIGN IN

NAME	ORGANIZATION AND/OR ADDRESS
Skibicki family	341 34th ave
Kerry Lemelins	1601 W. Lake Street
Joe Muli Young	212 S. Wisconsin Ave.
Javier Mascorro	17W797 Fullerton Ave
DAN BROWN	100 S Michigan Ave
Jeff Mytych	Village of Schaumburg Plan Commission
DONNA FALASH	353 NORMANDY - ADDISON
FABIAN GARCIA	255 N MILL RD APT 10B
Jesus Gonzalez	401 E Fullerton Ave
Bertina Flores	443 E Palmer Addison
DIANE NICEWARNER	300 E MYRICK
Luis Sanchez	17W727 Fullerton Ave
Tatiana Sanchez	17W727 Fullerton Ave



Village of Addison

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING • CODE ENFORCEMENT • ENGINEERING • ZONING

October 2, 2024

MEMORANDUM

TO: MARIANNE FOTOPOULOS, CHAIR
AND MEMBERS OF THE PLANNING AND ZONING COMMISSION

FROM: MICHAEL CRANDALL, DIRECTOR OF COMMUNITY DEVELOPMENT *M.C.*

CONSUELO ARGUILLES, ASSISTANT DIRECTOR OF COMMUNITY *CA*
DEVELOPMENT

RE: RECOMMENDATION
PZ 24-16, 330 S. FAIRBANK STREET: APPROVAL OF A PLAT OF
RESUBDIVISION WITH VARIATIONS FOR THE EXISTING SIDE YARD
SETBACK, DRIVEWAY WIDTH, AND OUTSIDE STORAGE AND PARKING
WITHIN 100 FEET OF A RESIDENTIAL DISTRICT.

SUMMARY OF REQUEST

The petitioner is requesting approval of a plat of resubdivision to combine the two parcels and allow them to expand their parking lot onto a vacant parcel at 330 S. Fairbank Street. The project requires approval of a Plat of Resubdivision and variations from the Zoning Ordinance to allow for the reconstruction of existing parking lot with concrete pavement, expansion of parking lot areas with concrete pavement, and construction of subsurface stormwater detention features.

The parking lot setbacks will comply with the minimum 5-foot setback requirement along the west and south lot lines. Per the paving plan, a 6.5-foot parking lot setback is proposed along the west lot line and about a 25-foot parking lot setback along the south lot line. The parking lot will maintain the existing parking lot without a setback located along the north property line, and seeks a variation to allow the existing nonconformity and bring it into compliance with the Zoning Ordinance.

Further, the driveways across public property are shown as 27-feet when a maximum 24' feet is permitted. This requires approval of a variation from the Zoning Administrator. Per the zoning ordinance, the Zoning Administrator may grant a variation in driveway widths from 24-feet to 35-feet. Therefore, the petitioner seeks approval of the following:

1. A Plat of Resubdivision to consolidate two parcels to a lot of record;
2. Maintain the existing no parking lot setback located north of the building and along the north property line where 5 feet is required;

3. 27-foot wide driveways where the maximum allowable width is 24 feet; and

They are also proposing subsurface stormwater management features within an ADS StormTech product.

PROPERTY HISTORY

The subject property consists of two parcels known as 330 S. Fairbank Street. The largest parcel (PIN 03-30-402-010) consists of a multi-story masonry industrial building, parking to the north and south of the building, and overhead door and driveways along the east of the building. The second parcel (PIN 03-30-402-026) abuts to the south and consists of an unimproved gravel parking area. The building was constructed prior to 1978. The Comprehensive Plan recommends that the subject property be developed with industrial land uses.

The subject property and the properties to the north, east, and south are zoned M2, General Manufacturing and are developed as various industrial uses. The property to the west is zoned M2 too but consists of a park.

INTERDEPARTMENTAL REVIEW

Staff reviewed and did not have any major concerns with your submission that can't be handled through the permit process.

Building

A building permit will be required for the proposed improvement.

Engineering

The plat of resubdivision plat proposed as HEC Consolidation will be required to comply with the Subdivision Code.

Fire

No comments at this time.

Public Works

No comments at this time.

Planning

When varying the Zoning Ordinance, there must be a determination that there are practical difficulties or particular hardships in complying with the code, as follows:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located;
2. That the plight of the owner is due to unique circumstances; or
3. That the variation, if granted will not alter the essential character of the locality.

In addition, the Planning & Zoning Commission, shall also take into consideration the extent to which the following facts have been established by the evidence:

1. That the particular physical surroundings, shape or topographical conditions of the specific property involved, would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the strict letter of the regulation were to be carried out;
2. That the conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification;
3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property;
4. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
5. That the proposed variation will not impair an adequate supply of light and air to adjacent properties, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.

The proposed resubdivision will meet all requirements for lots within the M2 General Manufacturing District.

The proposed subdivision and variations are intended to bring the existing improvements into compliance with the Zoning Ordinance. The existing parking lot setback to the north of the building allows for a two-way drive aisle and parking on either side of the driveway. The proposed new parking lot improvements will comply with the required setbacks along the west and south lot lines. The Zoning Administrator, known as the Director of Community Development, finds the 27-foot wide driveway widths acceptable for the operations of the subject property, including semi-truck parking. The 27-foot wide driveways are slightly wider than the 24-foot maximum allowed by code and is within the range (less than 35 feet) that could be approved administratively by the Director of Community Development. The existing building dates back to the original construction of the building around 1960s-1970s.

RECOMMENDATION

Staff finds that the proposed actions comply with the standards set forth in the Zoning Ordinance and, therefore, staff recommends approval of the requested actions, subject to the following conditions:

PZ 24-16– Planning & Zoning Commission
330 S. Fairbank Street
October 2, 2024
Page 4 of 4

1. The variation granted herein shall only apply to the existing parking lot as shown on the Existing Conditions & Demolition Plan (Sheet 2 of 13) prepared by Mackle Consultants, LLC and dated 8/26/24.
2. A building permit shall be issued for the proposed parking lot expansion.
3. Any future improvements to the property shall comply with all Zoning Ordinance requirements.

SUPPORTING DOCUMENTS

Attached for your review are the following:

- Location Map
- Notice of Public Hearing
- Petitioner Statement and Plans

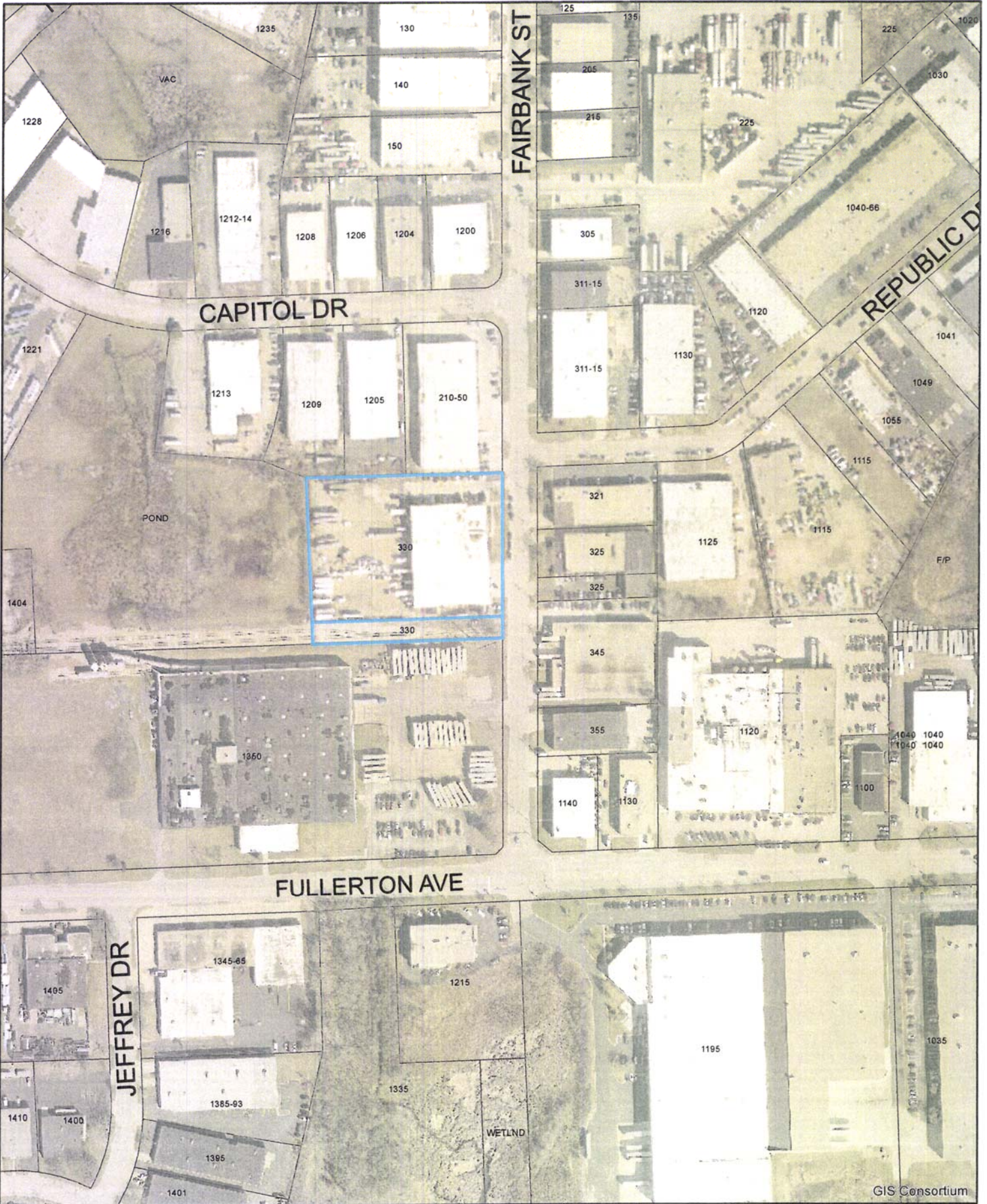
S:\EngShare\PLANNING & ZONING COMMISSION\2024\PZ 24-16 330 S Fairbank\PZ-24-16 P&Z Commission Memo.docx

PZ 24-16, 330 S. FAIRBANK ST

03-30-402-010, -026



Village Boundary shown in red
Subject Property shown in blue



NOTICE OF PUBLIC HEARING

The Planning and Zoning Commission of the Village of Addison will hold a public hearing on Wednesday, October 9, 2024 at 5:30 p.m. in the Village Board Room of the Addison Municipal Building, located at 1 Friendship Plaza, Addison, Illinois, to hear the following proposal:

File #PZ-24-16: The petitioner requests a Plat of Resubdivision and variations from the Zoning Ordinance to allow for the reconstruction of existing parking lot with concrete pavement, expansion of parking lot areas with concrete pavement, and construction of subsurface stormwater detention features.

The property is located at 330 South Fairbank Street in Addison, Illinois, and is legally described as follows:

THAT PART OF LOT 10 IN DUPAGE INDUSTRIAL DISTRICT ASSESSMENT PLAT IN SECTIONS 30 AND 31, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 30, 1964 AS DOCUMENT R64-48513, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH LINE OF THE SOUTH 545.0 FEET OF SAID LOT 10 WHICH IS 33.02 FEET WEST OF THE EAST LINE OF SAID LOT 10 (SAID POINT BEING ALSO ON THE WEST LINE OF FAIRBANK STREET AS DESIGNATED); THENCE WEST ALONG THE NORTH LINE OF THE SOUTH 545.0 FEET OF SAID LOT 10 A DISTANCE OF 395.44 FEET; THENCE NORTH AT RIGHT ANGLES TO THE SOUTH LINE OF SAID LOT 10, A DISTANCE OF 300.0 FEET; THENCE EAST AT RIGHT ANGLES TO THE LAST DESCRIBED LINE A DISTANCE OF 405.04 FEET TO A POINT ON THE WEST LINE OF FAIRBANK STREET; THENCE SOUTH ALONG THE WEST LINE OF FAIRBANK STREET, A DISTANCE OF 300.15 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THE SOUTH 45 FEET OF THE NORTH 345 FEET (EXCEPT THE EAST 33 FEET THEREOF) OF THAT PART OF LOT 10 LYING SOUTH AND EAST OF ARMY TRAIL INDUSTRIAL PARK PHASE TWO IN DUPAGE INDUSTRIAL DISTRICT ASSESSMENT PLAT OF PARTS OF SECTIONS 30 AND 31, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 30, 1964 AS DOCUMENT R64-48513, IN DUPAGE COUNTY, ILLINOIS.

Petitioner: Alan Shapiro

PIN #: 03-30-402-010 and 03-30-402-026

All interested parties are invited to attend the Public Hearing and will be given an opportunity to be heard. Plans are on file for public review at the offices of the Community Development Department, Village Hall, 1 Friendship Plaza.

Marianne Fotopoulos, Chair
Planning and Zoning Commission
Addison, Illinois

Daily Herald Newspaper
Issue of September 24, 2024

Petitioner's Statement

Parking Lot Improvements

HazChem Environmental Corporation

330 South Fairbank Street

Addison, Illinois

The subject property is located at 330 South Fairbank Street in Addison, Illinois. The property is currently used for commercial/industrial purposes (HazChem Environmental Corporation) with an existing building, associated parking areas and truck storage yard. The property is located within a commercial/industrial area (General Manufacturing - M2 Zoning) along Fairbank Street. The property is surrounded by an existing industrial building to the north, an existing rail spur to the south, and an existing detention basin to the west.

We are submitting the "Public Hearing Application" and "Required Documents for Planning & Zoning Commission Application" to the Village of Addison with a request for inclusion on the Planning & Zoning Commission agenda scheduled for October 9, 2024. In addition to the applications, we have included the Final Plat of Subdivision (Consolidation), Final Engineering Plans, and Stormwater Management Report for the proposed improvements. The proposed improvements include reconstruction of existing parking lot areas with concrete pavement, expansion of parking lot areas with concrete pavement, and construction of subsurface stormwater detention features.

The proposed pavement improvements will enhance the property's appearance while providing additional employee parking spaces and truck storage stalls. The existing asphalt pavement will be replaced with concrete pavement. And the aggregate/earthen storage areas will be paved with heavy-duty concrete pavement. A curb & gutter has been proposed around the perimeter of the pavement areas to collect and confine stormwater runoff from the property. ADA stalls have been provided with accessible routes to the existing sidewalks and/or existing buildings.

The proposed stormwater management improvements will provide detention volume (beyond the existing basin located adjacent to the property) for the new impervious areas. Detention will also be provided for the existing aggregate areas that were previously constructed without stormwater management. These stormwater management improvements will provide a regional benefit to the surrounding area and assist in relieving any flooding issues that may exist.

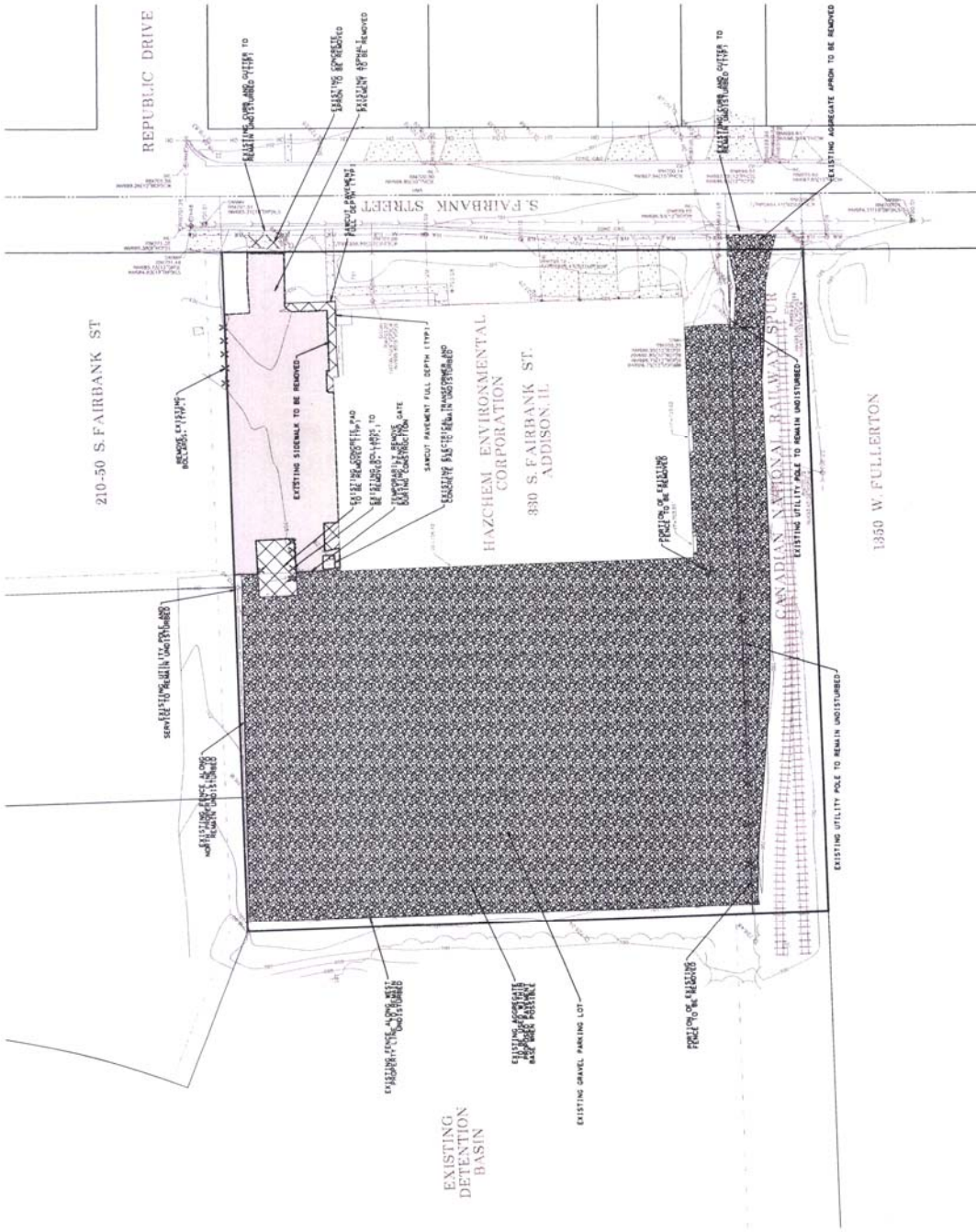
A request for setback variance is necessary for the pavement improvements. The proposed parking lot use and associated site circulation require that pavement limits extend beyond the setback ordinance for M2 Zoning. This request seems reasonable for the industrial/commercial surroundings and appears to have been granted for surrounding properties. In our opinion, the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. Nor will the variance impair an adequate supply of light or air to adjacent properties, or substantially increase the danger of fire, or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.

DEMOLITION LEGEND

	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING STRUCTURE, TREE, OR WOODS TO BE REMOVED
	PROPERTY LIMITS



- DEMOLITION PLAN GENERAL NOTES:**
1. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
 2. CONTRACTOR SHALL MAINTAIN ALL REQUIRED PERMITS FOR DEMOLITION WORK AND ASSOCIATED UTILITY DISCONNECT PERMITS THROUGHOUT THE PROJECT.
 3. THE MUNICIPALITY AND THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES (ELECTRIC, GAS, WATER, SEWER, TELEPHONE, CABLE, AND OTHER) OF THE DEMOLITION WORK AND THE LOCATION OF ALL UTILITIES TO BE REMOVED. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES (ELECTRIC, GAS, WATER, SEWER, TELEPHONE, CABLE, AND OTHER) OF THE DEMOLITION WORK AND THE LOCATION OF ALL UTILITIES TO BE REMOVED. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 6. THE CONTRACTOR IS REQUIRED TO ASSURE HIMSELF OF LOCATION AND DEPTH OF ALL UTILITIES AND RELATED FEATURES AND REPORT AT ONCE TO THE OWNER AND ARCHITECT IF ANY DISCREPANCIES WITH RECORD DRAWINGS OR FIELD CONDITIONS ARE DISCOVERED.
 7. ALL ASPHALT AND BUILDING MATERIALS SHALL BE REMOVED TO THE UTILITY COMPANY'S PROPERTY OR TO AN APPROVED LOCATION. ALL MATERIALS TO BE REMOVED SHALL BE HELD TO AN APPROVED LOCATION.
 8. ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS SHOWN ON THE UTILITY PLAN.
 9. SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS SHOWN ON THE UTILITY PLAN.
 10. ALL REMAINING UTILITIES ARE TO REMAIN IN SERVICE UNLESS SPECIFICALLY SHOWN OTHERWISE.
 11. ALL EXISTING TREES, BUSHES, AND MISCELLANEOUS PLANTS, SUCH AS FENCES, SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE PROJECT.
 12. ANY EXISTING PAVEMENT TO REMAIN SHALL BE BROKEN UP IN PLACE TO PROVIDE ADEQUATE DRAINAGE.
 13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ADJACENT PROPERTY AND UTILITIES THROUGHOUT THE PROJECT.
 14. FENCES, CURBS AND GUTTERS AND SIDEWALKS SHALL BE BROKEN UP AT THE POINTS OF DEMOLITION.
 15. ANY REMAINING EXISTING STRUCTURES OR MATERIALS NOT SHOWN TO BE REMOVED OR NOTED SHALL BE MAINTAINED AT THE CONTRACTOR'S EXPENSE.



SHEET
2 OF **13**

EXISTING CONDITIONS & DEMOLITION PLAN
330 S. FAIRBANK STREET
ADDISON, ILLINOIS

DESIGNED	JAD	JAD	JAD	JAD
DRAWN	JAD	JAD	JAD	JAD
APPROVED	KJM	KJM	KJM	KJM
DATE	08/28/24	08/28/24	08/28/24	08/28/24
BY	SCALE	SCALE	SCALE	SCALE
DATE	DESCRIPTION OF REVISION	DESCRIPTION OF REVISION	DESCRIPTION OF REVISION	DESCRIPTION OF REVISION

CLIENT: **HAZCHEM ENVIRONMENTAL CORPORATION**
330 SOUTH FAIRBANK STREET
ADDISON, ILLINOIS 60101

MECHL CONSULTANTS, LLC
8025 W. Hubbard, Suite 200
Rosemont, IL 60018
(847) 956-1400
www.mechlconsultants.com



CLIENT
HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

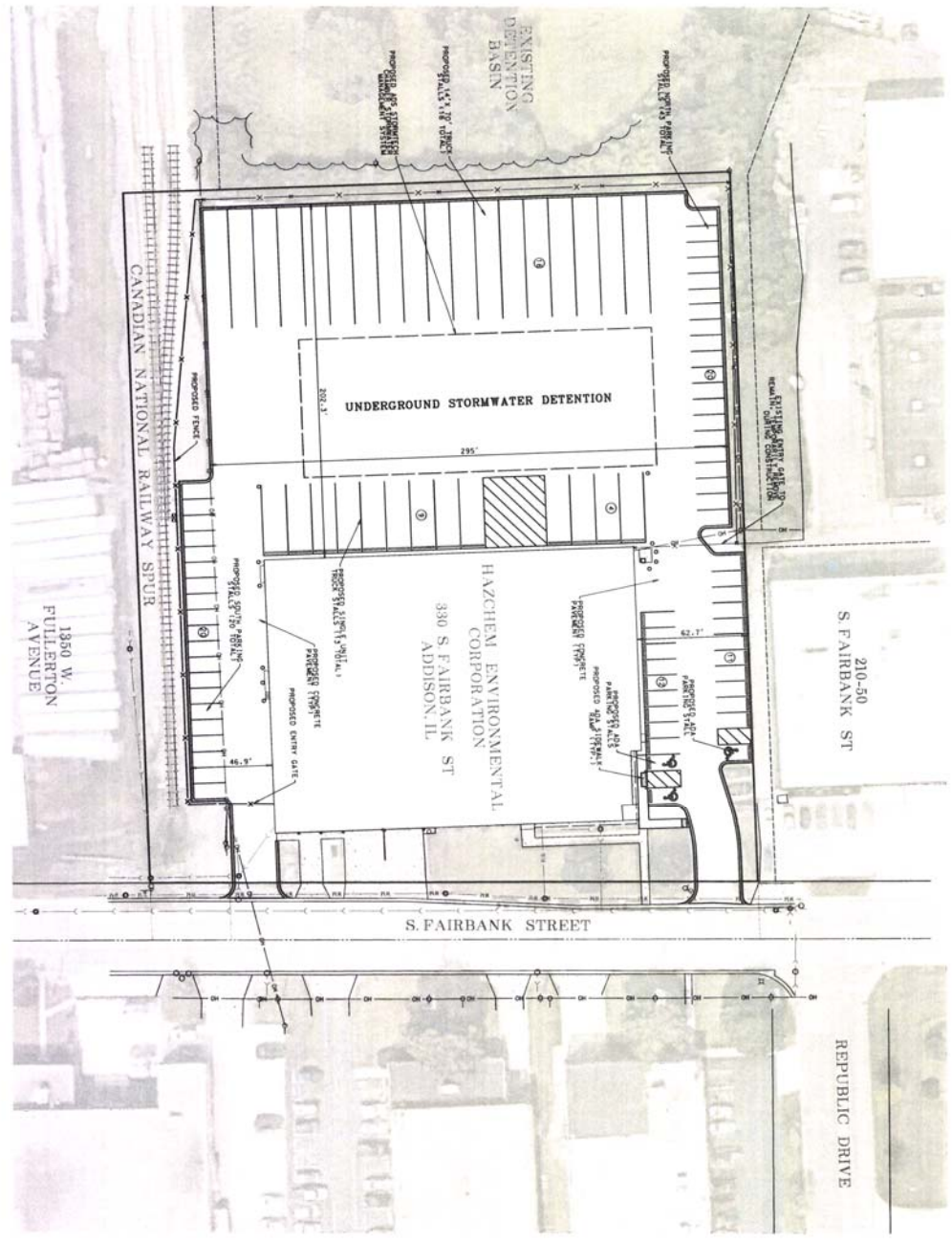
REVISIONS OF DESIGN

NO.	DATE	DESCRIPTION

DESIGNED JLD
DRAWN JLD
APPROVED KJM
DATE 04/28/14
SCALE 1" = 30'

OVERALL SITE PLAN
330 S. FAIRBANK STREET
ADDISON, ILLINOIS

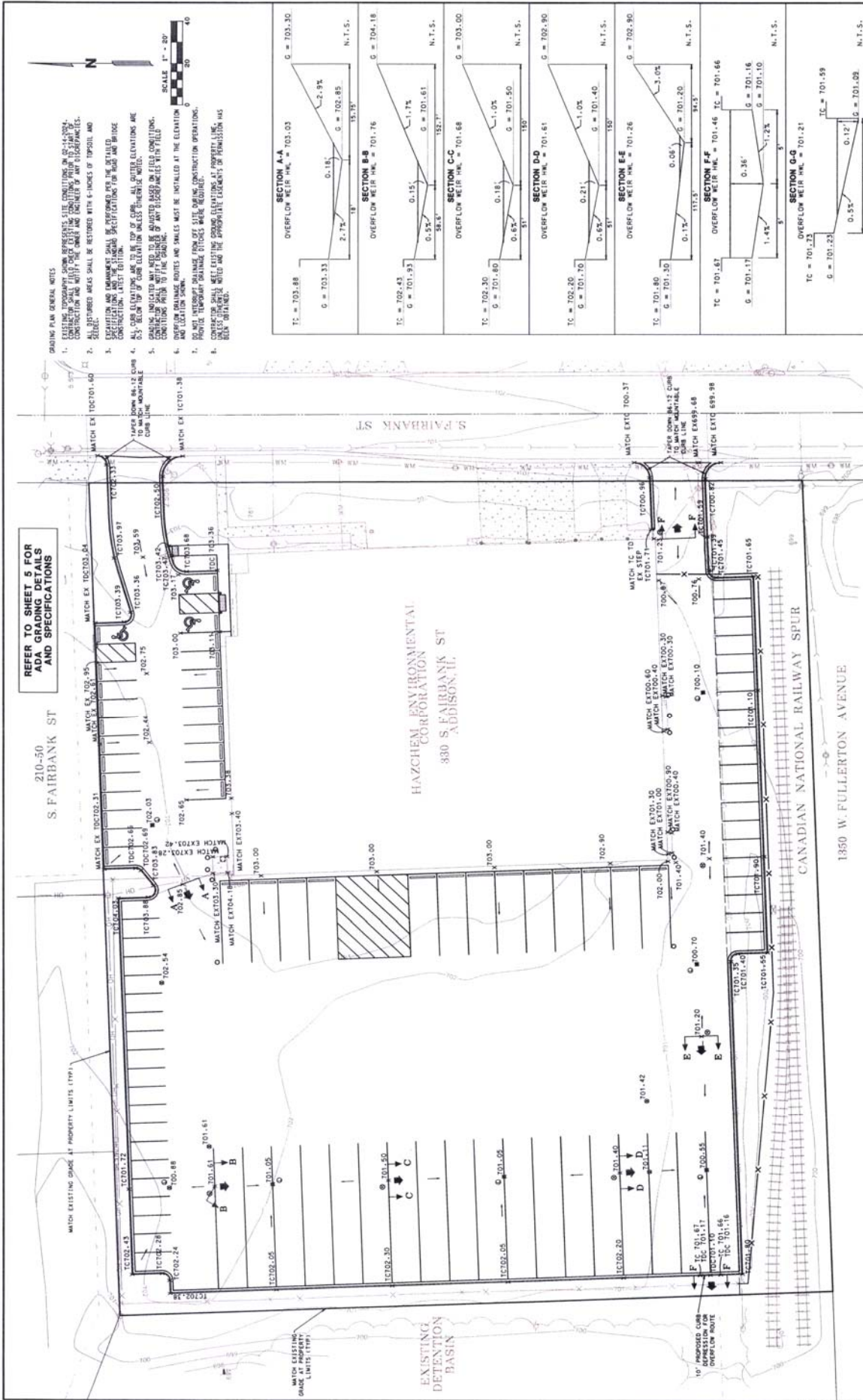
SHEET
3 OF 13
 PROJECT NUMBER: 14030001
 DRAWING NUMBER: 14030001-01



- SITE AREA GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 2. ALL WALLS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
 3. ALL EXISTING PARKING MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED CURB AND DRIVE SHALL BE 18" AND SHALL BE CONCRETE. ALL PROPOSED SIDEWALKS SHALL BE 36" WIDE AND SHALL BE CONCRETE. ALL PROPOSED DRIVE SHALL BE 36" WIDE AND SHALL BE CONCRETE.
 5. SHOW THE "AS BUILT" DIMENSIONS OF ALL CURB AND DRIVE.

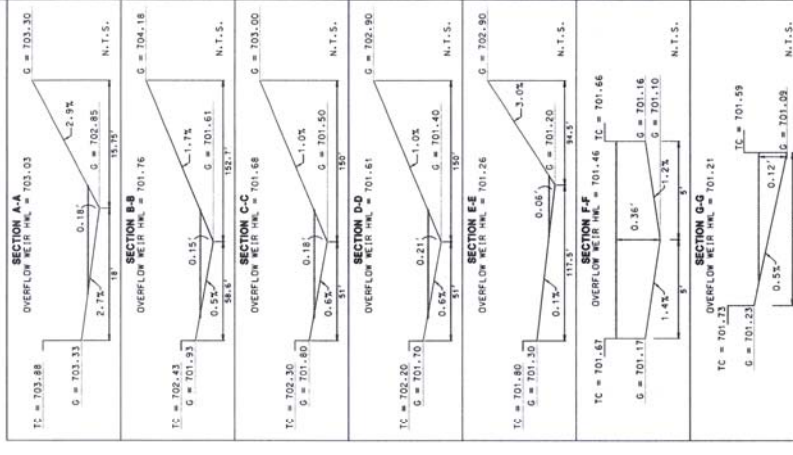
ALL PROPOSED PUBLIC SIDEWALKS AND CURB SHALL MEET ADA ACCESSIBLE STANDARDS. SEE DETAIL 3 FOR ADA DETAILS.





REFER TO SHEET 5 FOR
ADA GRADING DETAILS
AND SPECIFICATIONS

- GRADE PLAN GENERAL NOTES
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON 08-14-2024. CONSTRUCTION SHALL BE PERFORMED WITHIN 6 MONTHS OF TOPSOIL AND SEEDING.
 - ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEEDING.
 - SPECIFICATIONS FOR CONSTRUCTION SHALL BE BASED ON THE LATEST EDITION OF THE ILLINOIS CONSTRUCTION CODE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE.
 - GRADES INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONSULT THE FIELD ENGINEER FOR ANY CHANGES TO THE PLAN.
 - OVERFLOW CHANNELS AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
 - DO NOT INTERRUPT DRAINAGE FROM SITE DURING CONSTRUCTION OPERATIONS. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PREVENT UNDESIRABLE EROSION AND TO MAINTAIN THE APPROVED ELEMENTS OF PERMISSIBILITY AS SHOWN.



HAZCHEM ENVIRONMENTAL CORPORATION
330 S. FAIRBANK STREET
ADDISON, ILLINOIS 60101

CLIENT: HAZCHEM ENVIRONMENTAL CORPORATION
330 SOUTH FAIRBANK STREET
ADDISON, ILLINOIS 60101
www.hazchemusa.com

DESIGNED: JAD
DRAWN: JAD
APPROVED: KJM
DATE: 08/26/24
SCALE: 1" = 20'

SECTION OF REVISION:

NO.	DATE	DESCRIPTION

HAZCHEM ENVIRONMENTAL CORPORATION
330 S. FAIRBANK STREET
ADDISON, ILLINOIS 60101

MECHIE CONSULTANTS, LLC
8273 W. Higgins Road, Suite 500
Rosemont, IL 60018
www.mechie.com

4 OF 13
SHEET

GRADING PLAN & DETAILS
330 S. FAIRBANK STREET
ADDISON, ILLINOIS

PROJECT NUMBER: 24-001
DATE: 08/26/24
SCALE: 1" = 20'

NOT TO SCALE
 NOTE: HANDED SIGN SHALL CONFORM TO THE LATEST RULES OF THE ROAD WITH AMENDMENTS EFFECTIVE ALTY 1, 1994

REVISIONS

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2	08/28/24	JAD	REVISED PER COMMENTS

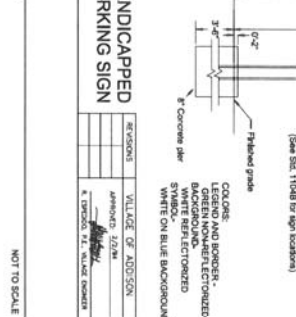
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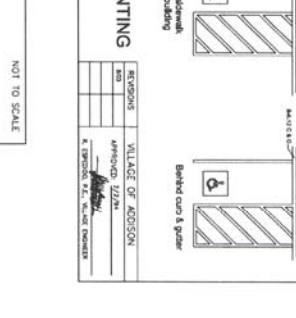
DATE: 08/28/24



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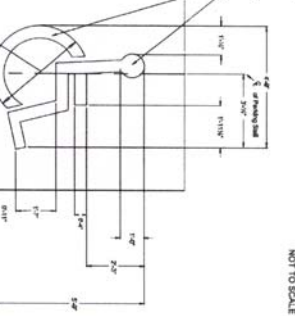


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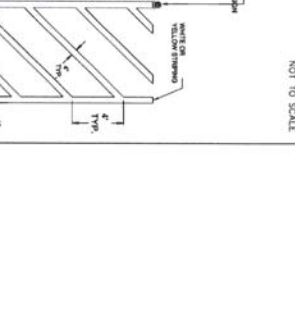
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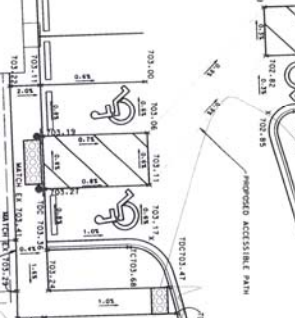
DATE: 08/28/24



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2	08/28/24	JAD	REVISED PER COMMENTS

DATE: 08/28/24

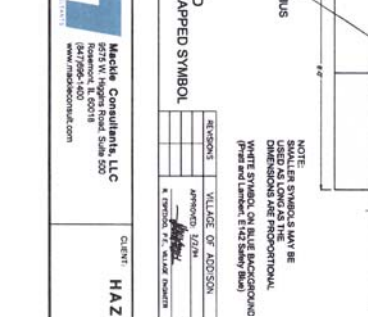


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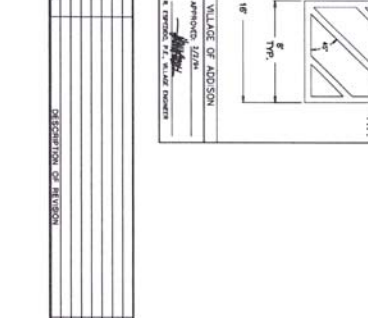
DATE: 08/28/24



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2	08/28/24	JAD	REVISED PER COMMENTS

DATE: 08/28/24



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NO.	DATE	BY	DESCRIPTION
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2	08/28/24	JAD	REVISED PER COMMENTS

DATE: 08/28/24



NOT TO SCALE

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DATE: 08/28/24

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2	08/28/24	JAD	REVISED PER COMMENTS

DATE: 08/28/24



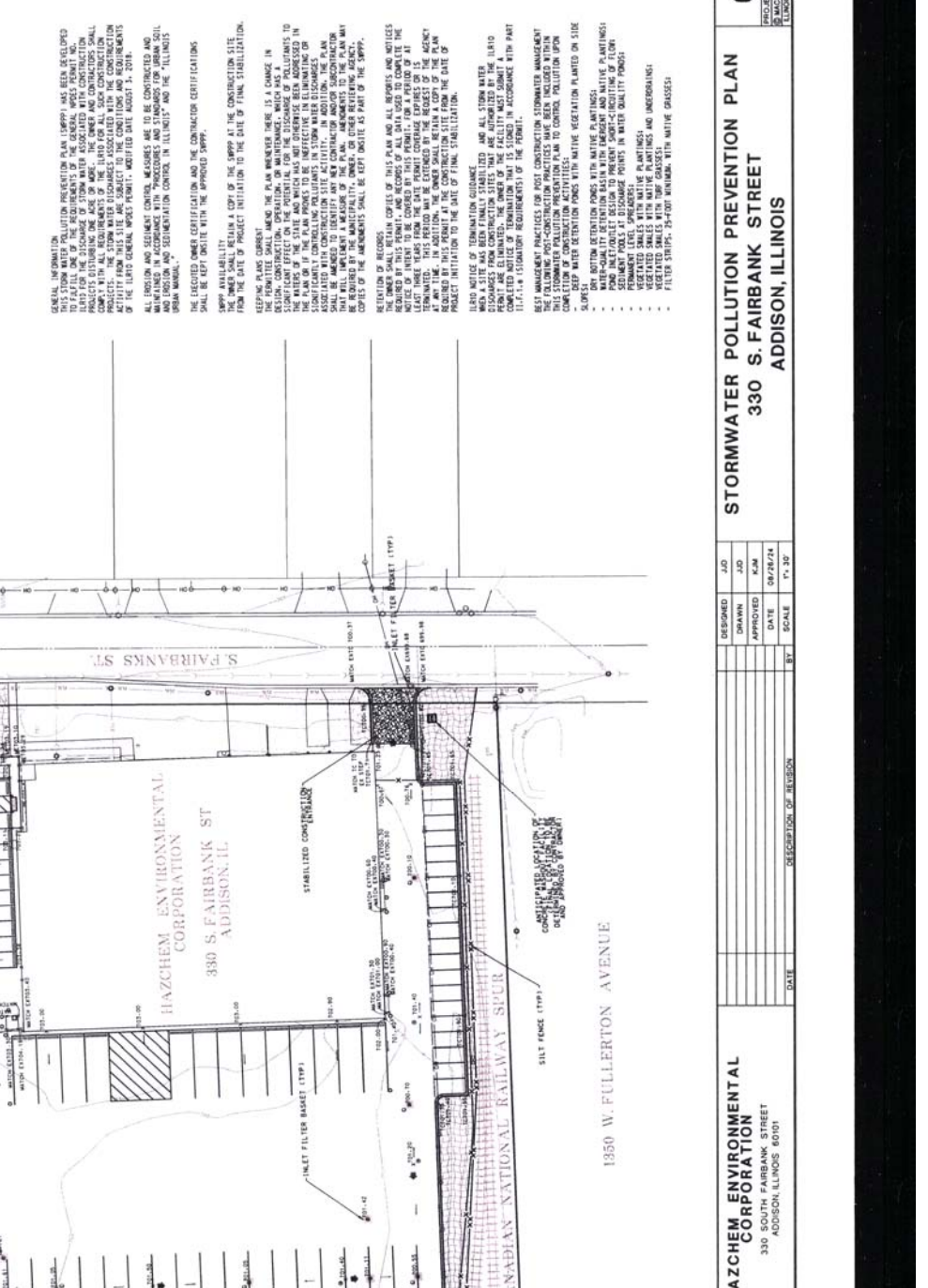
REPUBLIC DRIVE

210-50 S. FAIRBANK ST

HAZCHEM ENVIRONMENTAL CORPORATION
330 S. FAIRBANK ST
ADDISON, IL

EXISTING DETENTION BASIN

1350 W. FULLERTON AVENUE



GENERAL INFORMATION

THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED FOR THE DISCHARGE OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES ON THE PROJECT SITE. THE SWPPP IS A REQUIREMENT OF THE ILLINOIS POLLUTION CONTROL ACT (625 CS. 150/1) AND THE ILLINOIS POLLUTION CONTROL BOARD (IPCB) REGULATIONS (625 CS. 150/2). THE SWPPP IS A REQUIREMENT OF THE ILLINOIS POLLUTION CONTROL BOARD (IPCB) REGULATIONS (625 CS. 150/2). THE SWPPP IS A REQUIREMENT OF THE ILLINOIS POLLUTION CONTROL BOARD (IPCB) REGULATIONS (625 CS. 150/2).

SWPPP AVAILABILITY

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. THE SWPPP SHALL BE KEPT UP TO DATE AND AVAILABLE TO ALL PERSONNEL ON THE SITE. THE SWPPP SHALL BE KEPT UP TO DATE AND AVAILABLE TO ALL PERSONNEL ON THE SITE.

KEEPING PLANS CURRENT

IF ANY CHANGES TO THE SWPPP ARE REQUIRED DURING THE COURSE OF THE PROJECT, THE SWPPP SHALL BE REVISED AND REAPPROVED BY THE ENGINEER. THE SWPPP SHALL BE KEPT UP TO DATE AND AVAILABLE TO ALL PERSONNEL ON THE SITE. THE SWPPP SHALL BE KEPT UP TO DATE AND AVAILABLE TO ALL PERSONNEL ON THE SITE.

REVISIONS

NO. DATE DESCRIPTION

STORMWATER POLLUTION PREVENTION PLAN
330 S. FAIRBANK STREET
ADDISON, ILLINOIS

DESIGNED	JUD
DRAWN	JUD
APPROVED	KJM
DATE	08/28/24
SCALE	1" = 30'

NO.	DATE	DESCRIPTION OF REVISION

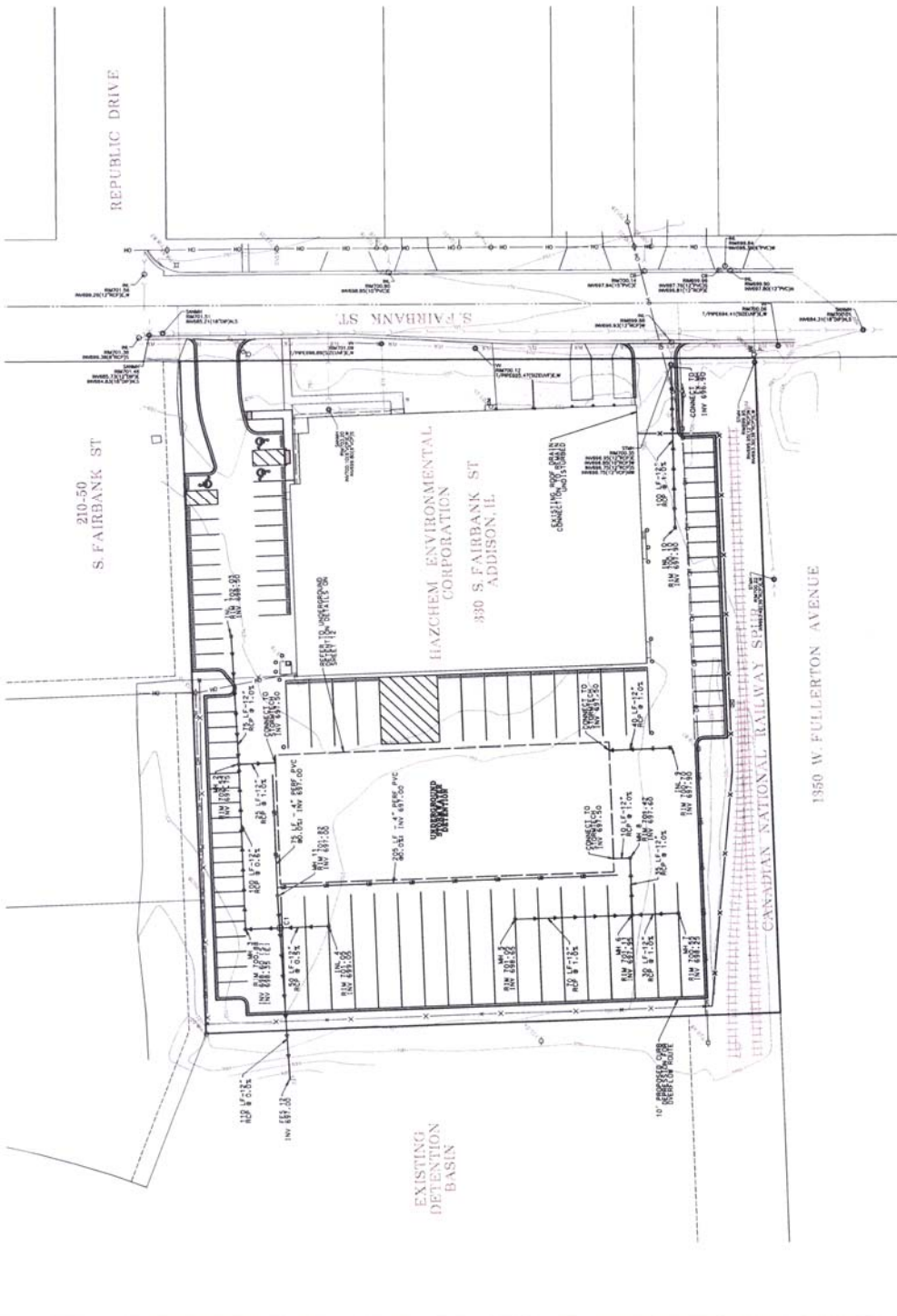
CLIENT: **HAZCHEM ENVIRONMENTAL CORPORATION**
330 SOUTH FAIRBANK STREET
ADDISON, ILLINOIS 60101

M
Mackie Consultants, LLC
8075 W. Higgins Road, Suite 200
Rosemont, IL 60018
www.mackieconsultants.com



- UNDERGROUND UTILITY GENERAL NOTES**
1. ALL MANHOLES AND CATCH BASINS SHALL BE 42-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
 2. ALL UTILITIES SHALL BE 30 INCH MINIMUM COVER UNLESS OTHERWISE INDICATED.
 3. ALL UTILITIES SHALL BE 15 INCH MINIMUM COVER UNLESS OTHERWISE INDICATED.
 4. ALL UNDERGROUND UTILITY INFORMATION NOTES ON THIS PLAN IS BASED ON THE INFORMATION PROVIDED FROM THE MANUFACTURING UTILITIES COMPANIES ON CONFLICT AND ACCURATE, CANNOT BE GUARANTEED. ALL UTILITIES SHALL BE LOCATED AND DEPTH AS SHOWN ON THE SHEET.
 5. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTION POINTS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
 6. ALL UTILITIES SHALL BE LOCATED AND DEPTH AS SHOWN ON THE SHEET.
 7. IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
 8. ALL UTILITIES SHALL BE LOCATED AND DEPTH AS SHOWN ON THE SHEET.
 9. ALL UTILITIES SHALL BE LOCATED AND DEPTH AS SHOWN ON THE SHEET.
 10. ALL UTILITIES SHALL BE LOCATED AND DEPTH AS SHOWN ON THE SHEET.

CROSSING	SIZE OF PIPE	TOP OF PIPE	SEPARATION
1	15" 8" 1/2" 15'	374.82+22.7	0'-0"



SHEET
8 of **13**
PROJECT NUMBER: 4747
DRAWN BY: JAD
CHECKED BY: JCM
DATE: 08/27/14
SCALE: 1" = 30'

OVERALL UTILITY PLAN
330 S. FAIRBANK STREET
ADDISON, ILLINOIS

DESIGNED	JAD
DRAWN <td>JCM</td>	JCM
APPROVED <td></td>	
DATE <td>08/27/14</td>	08/27/14
SCALE <td>1" = 30'</td>	1" = 30'

DATE	DESCRIPTION OF REVISION

CLIENT: **HAZCHEM ENVIRONMENTAL CORPORATION**
330 SOUTH FAIRBANK STREET
ADDISON, ILLINOIS 60101

Mackie Consultants LLC
9075 W. Higgins Road, Suite 500
Rosemont, IL 60018
www.mackieconsult.com





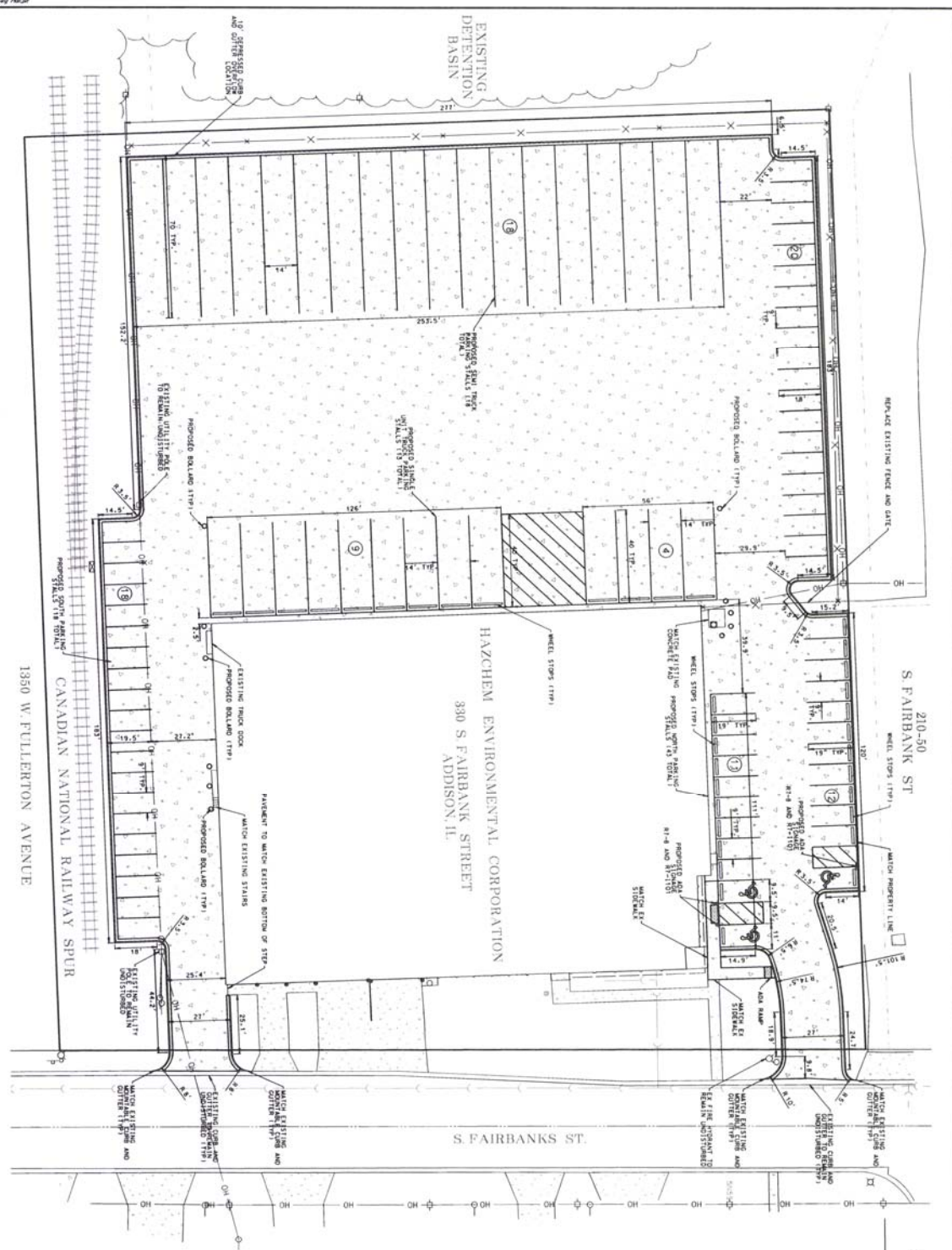
Mackie Consultants, LLC
 330 S. FAIRBANK STREET
 ADDISON, ILLINOIS 60101
 TEL: 630.583.5500
 WWW.MACKIECONSULTANTS.COM

HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

DATE	DESCRIPTION OF REVISION	BY	CHKD

PAVING PLAN
 330 S. FAIRBANK STREET
 ADDISON, ILLINOIS

9 of 13
 SHEET

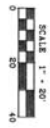


- SITE PLAN GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 2. ALL FACIL ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
 3. ALL EXISTING PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED CURBS AND GUTTERS SHALL BE 36" H AND SHALL BE RECESSED TO THE EXISTING FINISH GRADE, UNLESS OTHERWISE NOTED. THE RECESSED PORTION SHALL BE 1/2" DEEP AND 1/4" WIDE. THE RECESSED PORTION SHALL BE 1/4" DEEP AND 1/4" WIDE. THE RECESSED PORTION SHALL BE 1/4" DEEP AND 1/4" WIDE.
 5. ALL GUTTERS SHALL BE 18" WIDE, UNLESS OTHERWISE NOTED. ALL GUTTERS SHALL BE 18" WIDE, UNLESS OTHERWISE NOTED.
 6. ALL GUTTERS SHALL BE 18" WIDE, UNLESS OTHERWISE NOTED. ALL GUTTERS SHALL BE 18" WIDE, UNLESS OTHERWISE NOTED.

REFER TO SHEET 11
 FOR PAVEMENT DETAILS

PAVING LEGEND

[Symbol]	CONCRETE PAVEMENT
----------	-------------------



REPUBLIC DRIVE

210-20-50
 S FAIRBANK ST

HAZCHEM ENVIRONMENTAL CORPORATION
 330 S FAIRBANK STREET
 ADDISON, IL

1350 W FULLERTON AVENUE

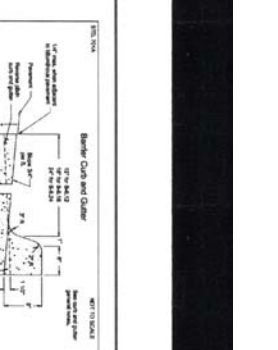
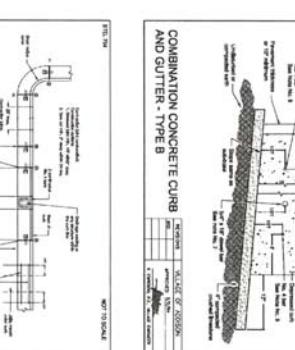
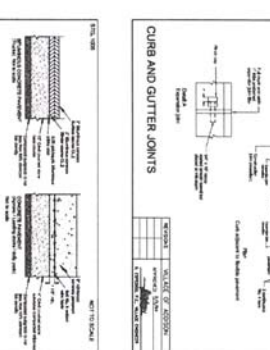
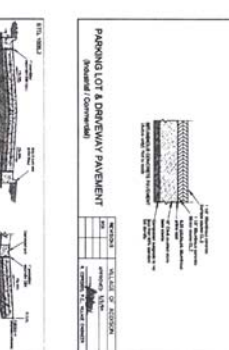
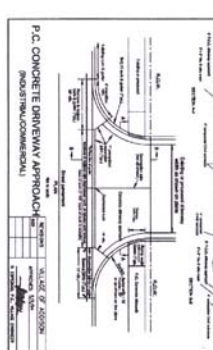
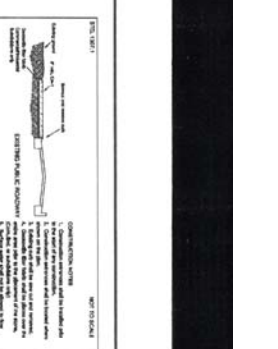
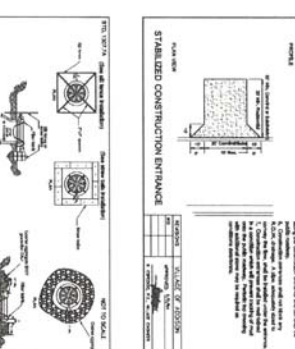
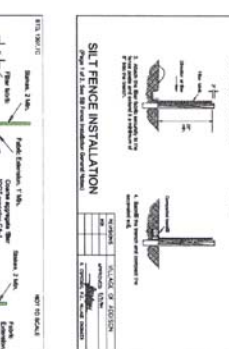
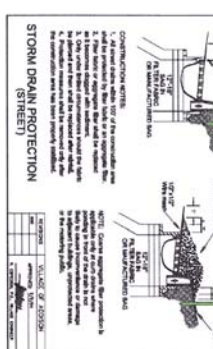
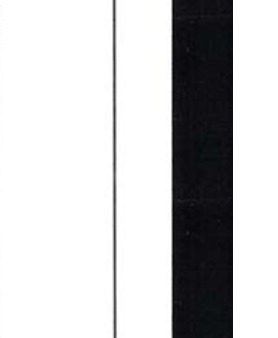
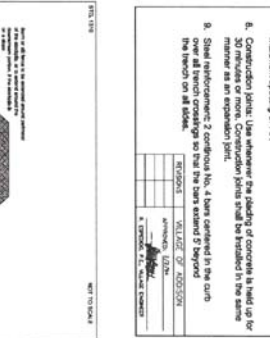
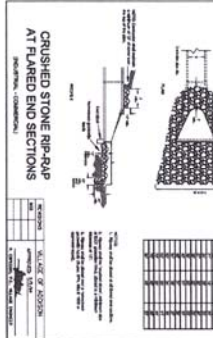
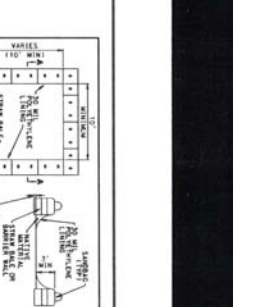
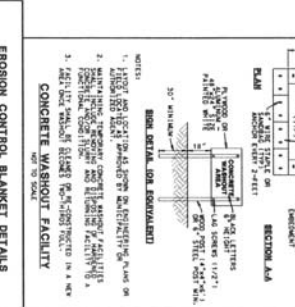
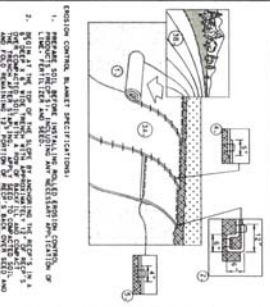
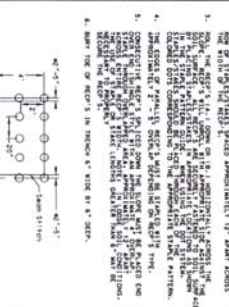
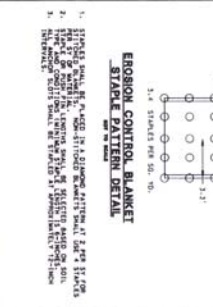
CANADIAN NATIONAL RAILWAY SPUR



CLIENT
HAZCHEM ENVIRONMENTAL CORPORATION
 330 S. FAIRBANK STREET
 ADDISON, ILLINOIS 60101

DESIGNED	JLD
DRAWN	JLD
APPROVED	KJM
DATE	08/27/14
SCALE	N.T.S.

CONSTRUCTION DETAILS
 330 S. FAIRBANK STREET
 ADDISON, ILLINOIS



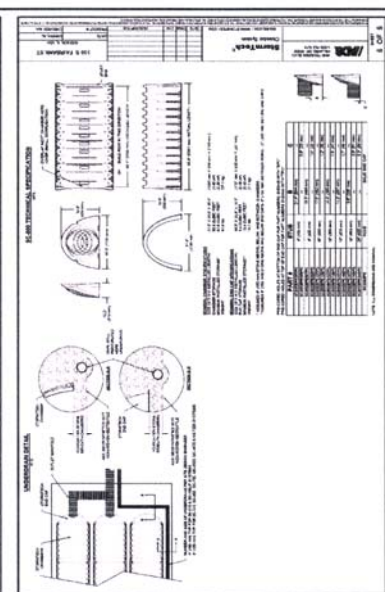
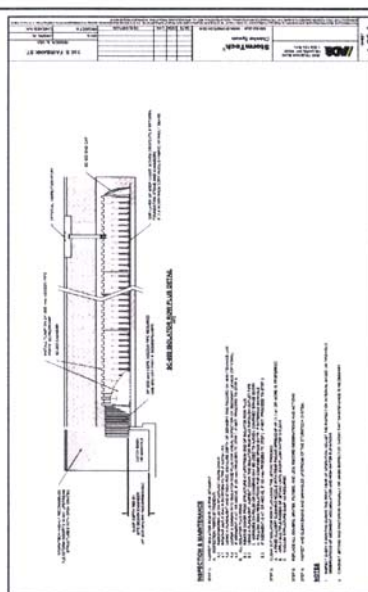
ACCEPTABLE FILL MATERIALS FOR METEORIC CHAMBER SYSTEM

MATERIAL LOCATION	DESCRIPTION	TESTS AND ANALYSIS REQUIREMENTS	COMPLETION DENSITY REQUIREMENTS
1. FILL MATERIAL	... (text) ...	... (text) ...	... (text) ...
2. ...	... (text) ...	... (text) ...	... (text) ...
3. ...	... (text) ...	... (text) ...	... (text) ...
4. ...	... (text) ...	... (text) ...	... (text) ...

DETERMINATION OF DENSITY

NOTES:

1. ... (text) ...
2. ... (text) ...
3. ... (text) ...
4. ... (text) ...
5. ... (text) ...
6. ... (text) ...



DESIGNED	JJD
DRAWN	JJD
APPROVED	KJM
DATE	08/26/24
SCALE	NTS
BY	
DATE	
DESCRIPTION OF REVISION	

HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

CLIENT: HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

PROJECT INFORMATION:

HAZCHEM ENVIRONMENTAL CORPORATION
 330 S. FAIRBANK ST.
 ADDISON, IL, USA

HAZCHEM ENVIRONMENTAL CORPORATION
 330 S. FAIRBANK ST.
 ADDISON, IL, USA

HAZCHEM ENVIRONMENTAL CORPORATION
 330 S. FAIRBANK ST.
 ADDISON, IL, USA

MECKLE CONSULTANTS, LLC
 5575 W. Higgins Road, Suite 500
 Rosemont, IL 60018
 www.meckleconsultants.com

HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

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 ADDISON, ILLINOIS 60101

HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

GENERAL NOTES

1. REFERENCED SPECIFICATIONS

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION FROM 511 FOR ALL SPECIFICATIONS EXCEPT WHERE SHOWN OTHERWISE WITH CONSTRUCTION VALUE ADJUSTED CODE OF ORDINANCE, LATEST EDITION.
- 2. QUOTE COUNTY SPECIFICATIONS AND FIGURE/PLAN ORDINANCE IN CASE OF CONFLICT BETWEEN THE ABOVE QUOTE ORDINANCE WITH THE MOST RECENT EDITION. THE PROJECT SHALL BE CONSIDERED AS CONSTRUCTION.

B. MODIFICATIONS

- 1. THE PLANT OF MOTION SHALL BE MODIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND MUST BE APPROVED BY THE COUNTY ENGINEER AND MUST BE REVISIONS TO THE ORIGINAL PLAN. THE COUNTY ENGINEER SHALL REVIEW AND APPROVE ALL MODIFICATIONS TO THE ORIGINAL PLAN. THE COUNTY ENGINEER SHALL REVIEW AND APPROVE ALL MODIFICATIONS TO THE ORIGINAL PLAN. THE COUNTY ENGINEER SHALL REVIEW AND APPROVE ALL MODIFICATIONS TO THE ORIGINAL PLAN.

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES.
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D. EXCAVATION AND SITE GRADING

- 1. EXCAVATION AND GRADING SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION FROM 511 FOR ALL SPECIFICATIONS EXCEPT WHERE SHOWN OTHERWISE WITH CONSTRUCTION VALUE ADJUSTED CODE OF ORDINANCE, LATEST EDITION.
- 2. QUOTE COUNTY SPECIFICATIONS AND FIGURE/PLAN ORDINANCE IN CASE OF CONFLICT BETWEEN THE ABOVE QUOTE ORDINANCE WITH THE MOST RECENT EDITION. THE PROJECT SHALL BE CONSIDERED AS CONSTRUCTION.



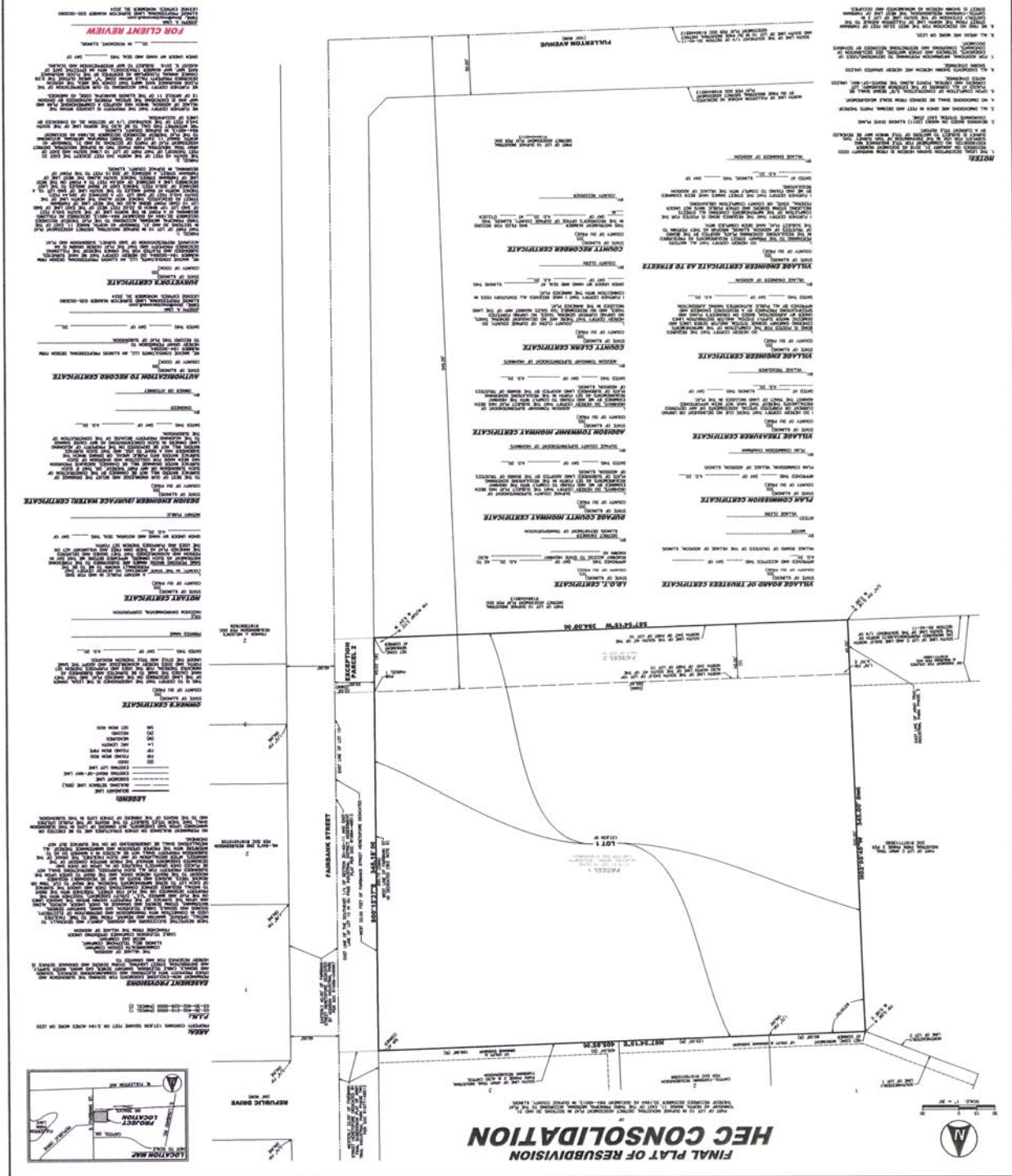
Mackie Consultants, LLC
 5515 S. Ridgeway Road, Suite 500
 Oak Brook, IL 60155
 (630) 581-1000
 www.mackieconsultants.com

HAZCHEM ENVIRONMENTAL CORPORATION
 330 SOUTH FAIRBANK STREET
 ADDISON, ILLINOIS 60101

DATE	DESCRIPTION OF REVISION	BY	SCALE

DESIGNED	JO
DRAWN	JM
APPROVED	KM
DATE	08/28/24
SCALE	N.T.S.

PROJECT SPECIFICATIONS
 330 S. FAIRBANK STREET
 ADDISON, ILLINOIS



FOR CLIENT REVIEW

THIS PLAN IS A FINAL PLAT OF RESUBDIVISION OF THE LAND SHOWN ON THE ATTACHED MAPS AND IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH HEREIN. THE CLIENT HAS REVIEWED THIS PLAN AND HAS APPROVED IT FOR RECORDATION. THE CLIENT HAS REPRESENTED THAT THE INFORMATION PROVIDED TO THE ENGINEER IS TRUE AND CORRECT AND THAT THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM. THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM. THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM.

NOTICE

THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM. THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM. THE ENGINEER HAS CONDUCTED A REASONABLE INVESTIGATION OF THE MATTERS REFERRED TO HIM AND HAS FOUND NO REASONABLE DOUBT AS TO THE ACCURACY OF THE INFORMATION PROVIDED TO HIM.

LEGEND

1. LOT 1
2. LOT 2
3. LOT 3
4. LOT 4

ASSESSMENT PROVISIONS

THE LAND SHOWN ON THIS PLAT IS SUBJECT TO THE ASSESSMENT PROVISIONS OF THE ILLINOIS CONSTITUTION AND THE ILLINOIS TAX CODE. THE LAND SHOWN ON THIS PLAT IS SUBJECT TO THE ASSESSMENT PROVISIONS OF THE ILLINOIS CONSTITUTION AND THE ILLINOIS TAX CODE. THE LAND SHOWN ON THIS PLAT IS SUBJECT TO THE ASSESSMENT PROVISIONS OF THE ILLINOIS CONSTITUTION AND THE ILLINOIS TAX CODE.

AREA

THE TOTAL AREA OF THE LAND SHOWN ON THIS PLAT IS 1.23 ACRES. THE TOTAL AREA OF THE LAND SHOWN ON THIS PLAT IS 1.23 ACRES. THE TOTAL AREA OF THE LAND SHOWN ON THIS PLAT IS 1.23 ACRES.

PLAT

THIS PLAT IS A FINAL PLAT OF RESUBDIVISION OF THE LAND SHOWN ON THE ATTACHED MAPS AND IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH HEREIN. THIS PLAT IS A FINAL PLAT OF RESUBDIVISION OF THE LAND SHOWN ON THE ATTACHED MAPS AND IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH HEREIN. THIS PLAT IS A FINAL PLAT OF RESUBDIVISION OF THE LAND SHOWN ON THE ATTACHED MAPS AND IS SUBJECT TO THE TERMS AND CONDITIONS SET FORTH HEREIN.

LOCATION MAP

THE LOCATION MAP SHOWS THE LOCATION OF THE LAND SHOWN ON THIS PLAT WITHIN THE TOWN OF ADDISON, ILLINOIS. THE LOCATION MAP SHOWS THE LOCATION OF THE LAND SHOWN ON THIS PLAT WITHIN THE TOWN OF ADDISON, ILLINOIS. THE LOCATION MAP SHOWS THE LOCATION OF THE LAND SHOWN ON THIS PLAT WITHIN THE TOWN OF ADDISON, ILLINOIS.

PLAT COMMISSION CERTIFICATE

I, the undersigned, Clerk of the Board of Commissioners of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the Board of Commissioners of the County of Cook, Illinois.

ILLINOIS BOARD OF TRUSTEES CERTIFICATE

I, the undersigned, Clerk of the Board of Trustees of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the Board of Trustees of the County of Cook, Illinois.

LAND SURVEYOR CERTIFICATE

I, the undersigned, Land Surveyor, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Land Surveyor.

ADDITIONAL TOWNSHIP HONORARY CERTIFICATE

I, the undersigned, Honorary Surveyor of the Township of Addison, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Honorary Surveyor of the Township of Addison, Illinois.

COUNTY CLERK CERTIFICATE

I, the undersigned, Clerk of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the County of Cook, Illinois.

COUNTY RECORDER CERTIFICATE

I, the undersigned, Recorder of Deeds of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Recorder of Deeds of the County of Cook, Illinois.

TAXPAYER CERTIFICATE

I, the undersigned, Taxpayer, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Taxpayer.

PLAT COMMISSION CERTIFICATE

I, the undersigned, Clerk of the Board of Commissioners of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the Board of Commissioners of the County of Cook, Illinois.

ILLINOIS BOARD OF TRUSTEES CERTIFICATE

I, the undersigned, Clerk of the Board of Trustees of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the Board of Trustees of the County of Cook, Illinois.

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I, the undersigned, Honorary Surveyor of the Township of Addison, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Honorary Surveyor of the Township of Addison, Illinois.

COUNTY CLERK CERTIFICATE

I, the undersigned, Clerk of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Clerk of the County of Cook, Illinois.

COUNTY RECORDER CERTIFICATE

I, the undersigned, Recorder of Deeds of the County of Cook, Illinois, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Recorder of Deeds of the County of Cook, Illinois.

TAXPAYER CERTIFICATE

I, the undersigned, Taxpayer, do hereby certify that the within plat of resubdivision of land is a true and correct copy of the original plat of resubdivision of land as the same appears on file in the office of the Taxpayer.

Addison Village of Addison

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING • CODE ENFORCEMENT • ENGINEERING • ZONING

October 2, 2024

MEMORANDUM

TO: MARIANNE FOTOPOULOS, CHAIR
AND MEMBERS OF THE PLANNING AND ZONING COMMISSION

FROM: MICHAEL CRANDALL, COMMUNITY DEVELOPMENT DIRECTOR *m.c.*
CONSUELO ARGUILLES, ASSISTANT DIRECTOR OF COMMUNITY DEVELOPMENT *CA*

RE: RECOMMENDATION
PZ 24-17, TEXT AMENDMENTS: CONSIDERATION OF HEARING TESTIMONY REGARDING PROPOSED TEXT AMENDMENTS WITH RESPECT TO DOLLAR STORES, THRIFT STORES AND TOBACCO STORES.

SUMMARY OF REQUEST

On June 17, 2024, the Village Board approved ordinances establishing six-month moratoriums on the issuance of business licenses for both discount retail establishments and establishments selling smoking materials.

DOLLAR STORES

Dollar stores are currently permitted in the B1, B2, B3, and B4 Districts. There are existing dollar stores at 230 W. Lake Street (Dollar Tree) and 539 W. Lake Street (Uno Dollar Plus). As noted in the moratorium ordinance (O-24-44), dollar stores are not meaningful alternatives to grocery stores, are suspected to cause negative economic impacts, and are suspected to cause higher incidences of crime:

- Grocery stores have reported a drop in sales if 15%-30% after the opening of a nearby dollar store.¹
- Dollar stores have been linked to higher incidents of violent crime.²
- Independent grocers employ approximately 20% more people than Dollar General does, relative to sales volume.³

¹ Joe Eskenazi, "Dollar Stores are Thriving – But are They Ripping off Poor People?," The Guardian, June 28, 2018.

² Alec MacGillis, "The True Cost of Dollar Stores," The New Yorker, June 29, 2020.

³ Dollar General 2021 Annual Report and U.S. Economic Census.

- Approximately 92% of Dollar General workers earn less than \$15 per hour, and in 2019, the annual median salary for a Dollar General worker was under \$14,600.^{4 5}

The Village of Addison Comprehensive Plan includes a goal of “consolidating commercial development along Lake Street at major street intersections with the intent of improving economic, transportation, and quality-of-life conditions.” Limiting dollar stores within Addison would provide residents with greater diversity in retail options and convenient access to fresh meats, fruits and vegetables.

The moratorium defined “Discount Retail Establishment” as:

Any retail sales store that continuously offers or advertises a majority of the items in their inventory for sale at a price less than \$5.00 per item. Discount Retail Establishment does not include: (1) gas stations; (2) convenience stores; (3) drug stores; (4) department stores; or (5) grocery stores.

For greater clarity, the following definition is recommended to be added to the Zoning Ordinance:

Dollar store. Any retail sales establishment of 15,000 square feet or less that continuously offers or advertises a majority of the items in their inventory for sale at a price less than \$10.00 per item.

Using the wording “dollar store” as opposed to “discount retail establishment” prevents confusion with discount retailers such as Wal-Mart and Target. Regarding the proposed size, the Dollar Tree that was proposed for 1555 W. Lake Street would have been 10,086 square feet. For comparison, Walgreens is 15,042 square feet, and CVS is 15,173 square feet. The \$10 price limitation would expand the definition to include stores such as Five Below and allow for eventual price inflation.

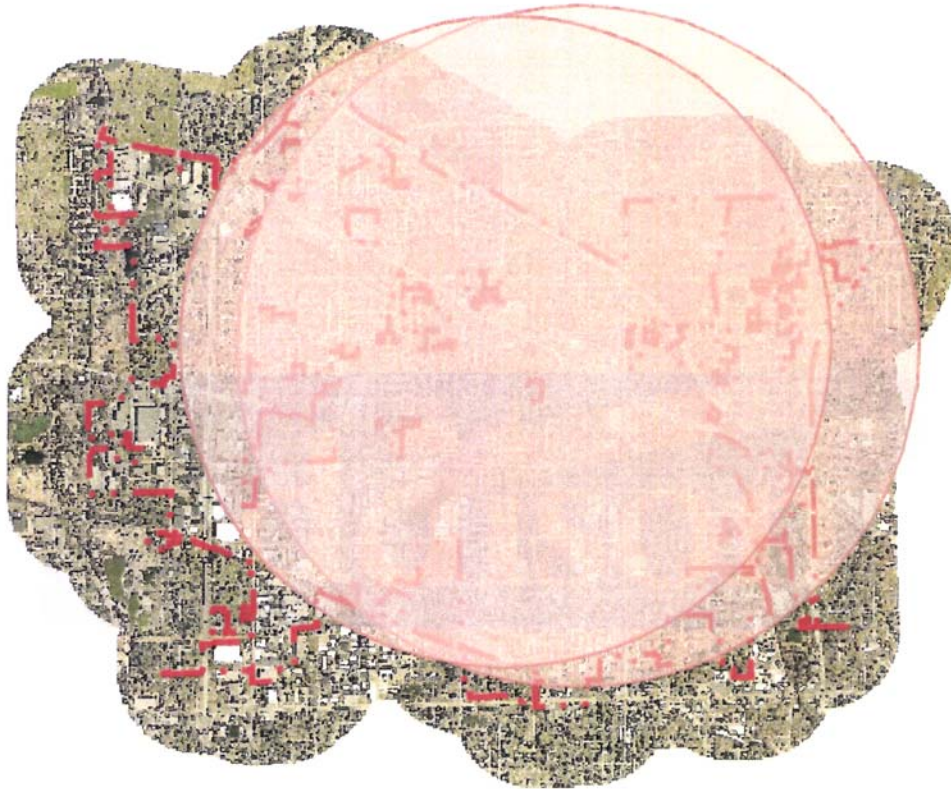
Staff recommends that dollar stores are listed as permitted uses within the B1, B2, B3, and B4 Districts, but only where they are at least two miles from any other dollar store (e.g., “Dollar stores, provided they are located no closer than two (2) miles from any other lot that contains a dollar store”).

Below is a very rough map showing what a two-mile buffer around our two existing dollar stores would look like. The only B-zoned properties outside that buffer would be the ones on North Avenue, the intersection of Army Trail & Swift, and the gas station at Lake Street & Medinah

⁴ Economic Policy Institute, “Company Wage Tracker,” April 2022.

⁵ 2019 Annual Report and 2020 Proxy Statement, Dollar General.

Road. If we include dollar stores in neighboring communities in the buffer area, the property at Lake & Medinah would be excluded by the Dollar Tree at 144 E. Lake Street in Bloomingdale.



These restrictions would only apply to primary uses. Properties where convenience stores are accessory to a gas station would not be impacted. I am unaware of any standalone convenience stores in Addison (i.e., not associated with a gas station).

THRIFT STORES

The Zoning Ordinance defines thrift stores and only allows them in the M4 District. Currently, there is no definition of what a thrift store is which makes it difficult to place them in an appropriate zoning district. The proposed code updates provides a definition of a thrift store as a store that sells used things such as clothes, books and furniture.

TOBACCO SHOPS

The Village currently has five districts where tobacco shops are permitted uses:

1. B2 District (Tobacco shops - retail sales)
2. B3 District (Uses permitted in the B2 District)
3. B4 District (Personal service uses, including barber shop, beauty parlor, card shop, coin shop, photographic or art studio, tailoring, shoe repairing, tobacco shop, laundry or dry cleaning receiving station, taxi cab stands, and bus depots, and other uses of similar character)
4. B5 District (Tobacco shops)
5. M4 District (Retail and service uses, limited to barber and beauty shops; drug stores; gift shops, newspaper, **tobacco and candy stores**; office supply stores, travel agencies; car rental services with storage of no more than five automobiles (no maintenance or washing of these vehicles allowed on site); and valet services. These uses shall be located within a hotel, motel or office building; shall not occupy more than 25 percent of the gross ground floor area of such building; and shall not have a separate exterior entrance or any exterior sign.)

Staff recommends eliminating tobacco shops from the Business districts and maintaining the allowance for tobacco stores in the M4 District while also adding the following definition to the Zoning Ordinance:

Tobacco store. Any establishment that (a) derives 50% or more of its revenue from or (b) utilizes 50% or more of its product display area for (1) any product containing, made of, or derived from tobacco or nicotine that is intended for human consumption or is likely to be consumed, whether inhaled, absorbed, or ingested by any other means, including, but not limited to, a cigarette, a cigar, pipe tobacco, chewing tobacco, snuff, or snus; (2) any electronic smoking device and any substances that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine; or (3) any component, part, or accessory of (1) or (2), whether or not any of these contains tobacco or nicotine, including but not limited to filters, rolling papers, blunt or hemp wraps, and pipes.

RECOMMENDATION

Based on the review of dollar stores, drift stores, and tobacco shops, the Village is proposing the following text amendments to the permitted uses:

- Permit *dollar stores* – *only when they are at least two miles from any other dollar store* in the B1 Local Business District, B2 Community Business District, B3 Service Business District, and B4 Regional Shopping Center District are proposed to permit dollar stores

- Remove *tobacco shops – retail sales* from the list of permitted uses in the B2 Community Business District
- Remove *tobacco shops* from the B5 Planned Community Commercial/Office District
- Permit *thrift stores* in the M4 Office-Research/Industrial District

The following definitions are proposed to be included Section X of the Zoning Ordinance:

- Dollar Store. Any retail sales establishment of 15,000 square feet or less that continuously offers or advertises a majority of the items in their inventory for sale at a price less than \$10.00 per item.
- Thrift Store. A store that sells used things such as clothes, books and furniture.
- Tobacco Store. Any establishment that (a) derives 50% or more of its revenue from or (b) utilizes 50% or more of its product display area for (1) any product containing, made of, or derived from tobacco or nicotine that is intended for human consumption or is likely to be consumed, whether inhaled, absorbed, or ingested by any other means, including, but not limited to, a cigarette, a cigar, pipe tobacco, chewing tobacco, snuff, or snus; (2) any electronic smoking device and any substances that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine; or (3) any component, part, or accessory of (1) or (2), whether or not any of these contains tobacco or nicotine, including but not limited to filters, rolling papers, blunt or hemp wraps, and pipes.

These restrictions would only apply to primary uses. Properties where convenience stores are accessory to a gas station would not be impacted. Staff is not unaware of any standalone convenience stores in Addison (i.e., not associated with a gas station).

Staff finds that the proposed text amendments comply with the standards set forth in the Zoning Ordinance and, therefore, staff recommends approval of the requested actions.

SUPPORTING DOCUMENTS

Attached for your review are the following:

- Notice of Public Hearing

LEGAL NOTICE
Notice of Public Hearing

The Planning & Zoning Commission of the Village of Addison will hold a public hearing on Wednesday, the 9th day of October 2024 at 7:00 p.m. in the Village Board Room of the Addison Municipal Building at 1 Friendship Plaza, Addison, Illinois to hear the following proposal:

File # PZ-24-17, Consideration of hearing testimony regarding proposed Text Amendments to Section X of the Zoning Ordinance of the Village of Addison with respect to tobacco establishments and dollar stores.

Petitioner: Village of Addison

A copy of the proposed text amendments may be viewed at the offices of the Department of Community Development, Addison Municipal Building. All interested parties are invited to attend the public hearing and will be given an opportunity to be heard. Plans are on file for public review at the offices of the Community Development Department, Village Hall, 1 Friendship Plaza.

Marianne Fotopoulos, Chair
Planning & Zoning Commission
Village of Addison
Addison, Illinois

Daily Herald Newspaper
Issue of September 24, 2024

Village of Addison

COMMUNITY DEVELOPMENT DEPARTMENT

BUILDING • CODE ENFORCEMENT • ENGINEERING • ZONING

October 2, 2024

MEMORANDUM

TO: MARIANNE FOTOPOULOS, CHAIR
AND MEMBERS OF THE PLANNING AND ZONING COMMISSION

FROM: MICHAEL CRANDALL, DIRECTOR OF COMMUNITY DEVELOPMENT *M.C.*

RE: RECOMMENDATION
PZ 24-11, 12 W. FACTORY ROAD (AUTO GALLERY CHICAGO):
VARIATIONS TO THE ZONING ORDINANCE, SUBDIVISION CONTROL
ORDINANCE, AND STANDARD SPECIFICATIONS FOR DESIGN AND
CONSTRUCTION TO ALLOW PARKING OF VEHICLES ON A PLASTIC
GRID PAVING SYSTEM.

SUMMARY OF REQUEST

After hearing testimony from the petitioner at the August 14, 2024 Planning and Zoning Commission meeting, the Commission made a motion to table this item to the September 18th hearing so staff could further investigate the petitioners request. Tonight, staff is requesting additional time to further investigate and wishes to table this item to the November 13th Planning and Zoning Commission meeting.

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